



# PLANNING COMMISSION MOTION NO. 21283

**HEARING DATE: MARCH 23, 2023**

Record No.: 2021-011813CUA  
Project Address: 67-69 Belcher Street  
Zoning: Residential Transit Oriented District (RTO) Zoning District  
40-X Height and Bulk District  
Market and Octavia Neighborhood Area Plan  
Cultural District: N/A  
Block/Lot: 3537/074  
Project Sponsor: Thomas Tunny, Ruben, Junius & Rose, LLP.  
One Bush Street, Suite 600  
San Francisco, CA 94104  
Property Owner: 67-69 Belcher Street, LLC  
San Francisco, CA 94117  
Staff Contact: Mathew Chandler – (628) 652-7340  
[Mathew.Chandler@sfgov.org](mailto:Mathew.Chandler@sfgov.org)

ADOPTING FINDINGS TO APPROVE A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 209.4, 303 AND 317, TO ALLOW DEMOLITION OF AN EXISTING, TWO-STORY BUILDING THAT CONTAINS ONE DWELLING UNIT AND TO CONSTRUCT A FIVE-STORY, 56-FOOT TALL RESIDENTIAL BUILDING CONTAINING 31 DWELLING UNITS (11 THREE-BEDROOM, 19 TWO-BEDROOM, AND 1 ONE-BEDROOM), 15 BELOW-GRADE VEHICLE PARKING SPACES AND 40 CLASS 1 BICYCLE PARKING SPACES, UNDER THE INDIVIDUALLY REQUESTED STATE DENSITY BONUS PROGRAM SEEKING WAIVERS FROM DEVELOPMENT STANDARDS, INCLUDING FRONT SETBACK (SECTION 132), REAR YARD (SECTION 134), DWELLING UNIT EXPOSURE (SECTION 140), AND HEIGHT LIMIT (SECTION 260), LOCATED AT 67-69 BELCHER STREET, BLOCK 3537 LOT 074 WITHIN THE RTO (RESIDENTIAL TRANSIT ORIENTED DISTRICT) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICTS, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

## PREAMBLE

On December 8, 2021, Thomas Tunny of Ruben, Junius & Rose, LLP (hereinafter "Project Sponsor") filed Application No. 2021-011813CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization for the demolition of a two-story, one-unit residential building and construction of a five-story, 56-foot tall residential building containing 31 dwelling units (11 three-bedroom, 19 two-bedroom, and 1 one-bedroom), 15 unbundled below-grade vehicle parking spaces, 40 Class 1 bicycle

parking spaces and 2 Class 2 bicycle parking spaces (hereinafter “Project”) at 67-69 Belcher Street, Block 3537 Lot 074 (hereinafter “Project Site”).

The Project is consistent with the adopted zoning controls for the project site in the Market and Octavia Neighborhood Plan (Area Plan) and was encompassed within the analysis contained in the Market and Octavia Neighborhood Plan Final Programmatic EIR (PEIR). certified by the Planning Commission on April 5, 2007 (Case 2003.0347E). The Commission adopted CEQA findings in its Motion No. 17406, and hereby incorporates such Findings by reference herein. Since the PEIR was finalized, there have been no substantial changes to the Area Plan and no substantial changes in circumstances that would require major revisions to the PEIR due to the identification of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the PEIR.

On March 6, 2023, the Department determined that the Project qualified for streamlined environmental review under CEQA Guidelines Section 15183 and Public Resources Code Section 21083.3, and issued a community plan evaluation (CPE). Mitigation measures from the PEIR that are applicable to the project are identified in the CPE and provided in a project-specific Mitigation Monitoring and Reporting Program (MMRP) attached as Exhibit C and are herein made conditions of project approval.

The file for this project, including the PEIR (2003.0347E) and the CPE, is available for review at San Francisco Planning, 49 South Van Ness Avenue, Suite 1400, San Francisco, California, and on the Department’s website under Environmental Review Documents.

The City and County of San Francisco, acting through the Department, fulfilled all procedural requirements of the California Environmental Quality Act, the State CEQA Guidelines, and Chapter 31 of the Administrative Code.

On March 23, 2023, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2021-011813CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2021-011813CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use as requested in Application No. 2021-011813CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

## **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**



- 2. Project Description.** The Project includes demolition of the existing two-story building, and new construction of a five-story, 56-ft tall, residential building (approximately 57,100 square feet (sq. ft.) total) with 31 dwelling units, 15 unbundled below-grade off-street parking spaces, 40 Class 1 bicycle parking spaces, and 2 Class 2 bicycle parking spaces. The Project contains a dwelling-unit mix consisting of 11 three-bedroom units, 19 two-bedroom units, and 1 one-bedroom unit. The Project includes 3,879 square feet of common open space via ground floor rear yard and roof deck, and private open space for two units.
- 3. Site Description and Present Use.** The Project is located on an existing rectangular lot (totaling approximately 12,500 square feet) with approximately 100-ft of frontage along Belcher Street. The Project Site contains an existing two-story building authorized for residential use measuring approximately 18,694 square feet in size.
- 4. Surrounding Properties and Neighborhood.** The Project Site is located within the RTO Zoning District in the Market and Octavia Planning Area. The site is bound by Belcher Street to the west. The immediate context is mixed in character with residential and commercial uses. The immediate neighborhood includes two-story residential development to the south, a series of two-to-four-story residential development to the west across Belcher Street, a two-story commercial building to the east fronting Church Street. The three lots to the north of the subject site are currently used as a private surface parking lot, but a building permit has been issued to construct a four-story residential building on these lots. The properties directly to the south and east are within the Upper Market NCT (Neighborhood Commercial Transit) Zoning District.
- 5. Public Outreach and Comments.** The Department has received correspondence from the Duboce Triangle Neighborhood Association expressing support for the additional housing proposed by the Project. Prior to the submittal of the Conditional Use Authorization Application, the Sponsor hosted a Pre-application meeting with adjacent neighbors and registered neighborhood groups on August 9, 2021. Feedback provided by attendees of the Pre-Application meeting include topics of design and massing, and unit tenancy, affordability and rental rates, and support for below market rate housing.
- 6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

  - A. Use.** Planning Code Section 209.4 principally permits residential uses within the RTO Zoning District.

*The project proposes the new construction of a residential building with 31 dwelling units. Therefore, the Project complies with Planning Code Section 209.4.*
  - B. Residential Demolition.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to demolish a residential unit. This Code Section establishes criteria that the Planning Commission shall consider in the review of applications for Residential Demolition.

*The Project proposes the demolition of an existing building containing 1 residential dwelling unit and therefore requires a Conditional Use Authorization. The additional criteria specified under Section 317 have been incorporated as findings in Subsection 10 below.*

- C. **Front Setback.** Planning Code Section 132 states that the minimum front setback depth shall be based on the average of adjacent properties or a Legislated Setback and not to be more than 15 feet.

*The adjacent property to the south has a setback of 1 foot 8 inches from the lot's front property line and the adjacent property to the north has an issued building permit application (Building Permit Application No. 201905069886) to construct a residential building with a setback of 2 feet 9 inches from the lot's front property line, which results in an average depth of 2 feet 2.5 inches for the subject property. The Project proposes a setback of 10 inches from the lot's front property line. Therefore, the project is requesting a waiver of this Planning Code requirement per State Density Bonus Law. The waiver of front setback requirements is necessary to enable the construction of the project with the increased density provided by Government Code Section 65915.*

- D. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard depth equal to 45% of the total depth of the lot on which the building is situated, except that rear yard requirements can be reduced to a line on the lot, parallel to the rear lot line, which is the average between the depths of the rear building walls of both adjacent properties.

*The project proposes a building depth of 68 feet 9 inches on the 125-foot-deep lot, that results in a rear yard of 31 feet 3 inches in depth, which is 25% of the subject lot's depth. However, the last ten feet of building depth that extends into the rear 45% of the lot has a height limit of no more than 30 feet when using the allowed average between the depths of the rear building walls of the two adjacent buildings. The project uses the allowed average to reduce the rear yard requirements and proposes a building with a height of more than 30 feet for the last 10 feet of building depth. Therefore, the project is requesting a waiver of this Planning Code requirement per State Density Bonus Law. The waiver of rear yard requirements is necessary to enable the construction of the project with the increased density provided by Government Code Section 65915.*

- E. **Useable Open Space.** In the RTO Zoning District, Planning Code Section 135 requires 100 square feet of useable open space for each dwelling unit if all private open space or 133 square feet of common usable open space for each dwelling unit.

*The Project contains a total of 31 dwelling units and provides a compliant amount of private open space for two of the proposed dwelling units. The RTO Zoning District requires 3,857 square feet of common usable open space for the remaining 29 dwelling units. These units will have access to approximately 3,879 square feet of common usable open space provided at the ground level rear yard and a roof deck. Therefore, the Project meets the usable open space requirement.*

- F. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions.

*25 of the 31 proposed dwelling units meet the dwelling unit exposure requirements of the Code, the remaining 6 do not meet the dwelling unit exposure requirements of the Code. Specifically, 15 units face Belcher Street, which is at least 30 feet in width, and 10 units will face an open area that meets the*

*minimum requirements for area and horizontal dimension at the rear. The remaining 6 units do not face a qualifying area to meet exposure. Therefore, the project is requesting a waiver of this Planning Code requirement per State Density Bonus Law. The waiver of the exposure requirements is necessary to enable the construction of the project with the increased density provided by Government Code Section 65915.*

- G. **Street Frontages.** Section 144 of the Planning Code requires that no more than one-third of the width of the ground story along the front lot line, or along a street side lot line, or along a building wall that is setback from any such lot line, shall be devoted to entrances to off-street parking, except that in no event shall a lot be limited by this requirement to a single such entrance of less than ten feet in width.

*The Project complies, as the off-street parking entrance will not exceed 20 feet and the minimum 1/3 width visual relief at the ground story street frontage will be provided.*

- H. **Off-Street Parking.** Planning Code Section 151 does not require a minimum number of off-street parking spaces and permits a maximum of .75 parking spaces for each four dwelling units.

*The RTO Zoning District would permit a maximum of 23 off-street parking spaces. The Project will provide 15 unbundled off-street parking spaces within the proposed garage. Therefore, the Project complies with Planning Code Section 151.*

- I. **Bicycle Parking.** Planning Code Section 155.2 requires at least one Class 1 bicycle parking space for each dwelling unit.

*The Project exceeds this requirement by providing 40 Class 1 bicycle parking spaces within the proposed garage.*

- J. **Dwelling Unit Mix.** Planning Code Section 207.6 requires that no less than 40% of the total number of proposed dwelling units contain at least two-bedrooms, or no less than 30% of the total number of the proposed dwelling units contain at least three-bedrooms.

*The Project exceeds the minimum dwelling unit mix required by the Planning Code. The Project proposes new construction of 31 dwelling units and includes a dwelling-unit mix consisting of 11 three-bedroom units, 19 two-bedroom units; therefore, resulting in 61% two-bedroom units and 35% three-bedroom units.*

- K. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District, with a 40-foot height limit.

*The proposed building has a height of 56 feet as measured per Planning Code Section 260 and proposes a 16-foot-tall elevator penthouse above this height for a maximum proposed height of 72 feet. Therefore, the project is requesting a waiver of this Planning Code requirement per State Density Bonus Law. The waiver of the height limit is necessary to enable the construction of the project with the increased density provided by Government Code Section 65915(f)(1).*

- L. **Residential Child-Care Impact Fee.** Planning Code Section 411 is applicable to any residential development that results in at least one new residential unit.

*The Project includes approximately 38,740 gross square feet of newly constructed residential use. This use is subject to Residential Child-Care Impact Fee, as outlined in Planning Code Section 411A. This fee must be paid prior to the issuance of the building permit application.*

- M. **Transportation Sustainability Fee.** Planning Code Section 411A is applicable to new development that results in more than 20 dwelling units.

*The Project includes new construction of 31 dwelling units and is therefore subject to the Transportation Sustainability Impact Fee, as outlined in Planning Code Section 411A. This fee must be paid prior to the issuance of the building permit application.*

- N. **Inclusionary Affordable Housing Program Impact Fee.** Planning Code Section 415 is applicable to any project resulting in 10 or more dwelling units.

*The Project includes new construction of 31 dwelling units and is therefore subject to the Inclusionary Affordable Housing Program Impact Fee, as outlined in Planning Code Section 415. This fee must be paid prior to the issuance of the building permit application.*

- O. **Market & Octavia Community Improvement Fund Impact Fee.** Planning Code Section 421 is applicable to any residential development that results in at least one new residential unit.

*The Project includes approximately 38,740 gross square feet of newly constructed residential use. This use is subject to the Market and Octavia Community Improvements Impact Fee, as outlined in Planning Code Section 421. This fee must be paid prior to the issuance of the building permit application.*

- P. **Transportation Demand Management (TDM) Plan.** Pursuant to Planning Code Section 169 and the TDM Program Standards, the Project shall finalize a TDM Plan prior Planning Department approval of the first Building Permit or Site Permit. As currently proposed, the Project must achieve a target of 12 points.

*The Project submitted a completed Environmental Evaluation Application prior on November 23, 2021. Therefore, the Project must only achieve 100% of the point target established in the TDM Program Standards, resulting in a required target of 12 points. As currently proposed, the Project will achieve its required 12 points through the following TDM measures:*

- Unbundled Parking
- Parking Supply
- Bicycle Parking (Option A)
- Bicycle Repair Station
- Delivery Supportive Amenities
- On-Site Affordable Housing

7. **Inclusionary Affordable Housing Program for State Density Bonus Projects.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Sections 415.3 and 419.3, these requirements apply to projects that consist of 10 or more units. The applicable percentage is dependent on the number of units in the project, the zoning of the property, and the date of the accepted Project Application. A Project Application was accepted on November 23, 2021 therefore, pursuant to Planning Code Section 415.3, the Inclusionary Affordable Housing Program requirement for the On-Site Affordable Housing Alternative is to provide 14% of the proposed base density units as affordable.

Pursuant to Planning Code Section 415.5, the Project may pay the Affordable Housing Fee (“Fee”). This Fee is made payable to the Department of Building Inspection (“DBI”) for use by the Mayor’s Office of Housing and Community Development for the purpose of increasing affordable housing citywide. The applicable percentage is dependent on the number of units in the project, the zoning of the property, and the date that the project submitted a complete Project Application. The applicable fee rate is 20%.

In addition, under the State Density Bonus Law, Government Code section 65915 et seq, a project is entitled to a density bonus, concessions and incentives, and waivers of development standards only if it provides on-site Affordable Units. Projects that include on-site units to qualify for a density bonus under the State Law may also be able to satisfy all or part of the Affordable Housing Fee requirement, by receiving a “credit” for the on-site units provided. This “credit” is calculated in accordance with Planning Code Section 415.5(g)(1)(D), referred to as the Combination Alternative. The Combination Alternative allows projects to satisfy the Inclusionary Housing requirement through a combination of payment of the fee and provision of on-site units.

*The Project Sponsor has demonstrated that the Project is eligible for the Combination Alternative under Planning Code Section 415.5 and has submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program. For the Project Sponsor to be eligible for the Combination Alternative, the Project Sponsor must submit an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to the Planning Department stating that any Affordable Units designated as on-site units shall be ownership units and affordable for the life of the project. The Project Sponsor submitted such Affidavit on December 22, 2022. A complete Project Application was submitted on November 23, 2021; therefore, pursuant to Planning Code Section 415.5, the Inclusionary Affordable Housing Program requirement for the on-site Affordable Housing Alternative is to provide 14% of the 21-unit Base Project as affordable. The Project Sponsor will fulfill this requirement by providing 3 Affordable Units on-site to be sold to households earning 80% area medium income, which allows the sponsor to qualify for a 26% density bonus. The Project Sponsor will provide an additional 2 units at 80% AMI in order to qualify for a 46.25% bonus, bringing the total number of Affordable Units at 80% AMI to 5. The Affordable Housing Fee rate is 20% and will apply to the remainder of the Inclusionary obligation. Additional information is available in the table below.*

PRJ/EEA Accepted Date	November 23, 2021
Project Tenure	Ownership
Zoning District	RTO Zoning District
Project Size	Small Project – 10-24 Units

Total On-Site Affordable Units	5
AMI Levels	2 @ lower (80% AMI) Inclusionary Units that qualify for a state density bonus 14% @ low (80% AMI) 3 Inclusionary Units
Affordable Unit Mix	1 1-Bedroom (SDB Unit), 3 2BR (one SDB and two Inclusionary), 1 3BR per Inclusionary Requirements
Total Residential Floor Area	38,740 sf
Base Residential Floor Area or Base Units (SDB only)	21 dwelling units
% Density Bonus	46.25%

8. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The Project site is in the Residential Transit Oriented (RTO) Zoning district and 40-X Height and Bulk District. RTO Districts are intended to recognize, protect, conserve, and enhance areas characterized by a mixture of houses and apartment buildings, covering a range of densities, and building forms. The immediate vicinity is characterized by a mix of residential, retail, commercial, and religious uses. The surrounding residential buildings are typically two-to-four-stories in height. The Project site is also well served by public transportation and located near Church Street and Market Street, major transportation thoroughfares in San Francisco.*

*The size of the Project and the units within the proposed five-story 31-unit building is in-keeping with other residential properties in the neighborhood. The Project is necessary and desirable because it will replace a non-complying structure currently containing 1 dwelling unit with a new building that maximizes the allowed density of the lot and provides Below Market Rate units by use of the State Density Bonus Law. The property is compliant with applicable Design Guidelines and Market and Octavia Plan, and contributes to the mixed visual character of the neighborhood. Overall, the Project is proposing to increase the total number of dwelling units, while maximizing the amount and types of housing in the neighborhood to serve a wide variety of people, including a range of income, ages, and household and family compositions. The new building is compatible with the neighborhood, intent of the zoning district, and Market and Octavia Area Plan, resulting in a Project that is necessary, desirable, and compatible with the City at-large.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and



arrangement of structures;

*The Project has been designed to be compatible with its surroundings and the wide lot configuration. The height and bulk of the proposed building, in combination of State Density Bonus Law, would be appropriate for the location. The Project is designed to visually divide the building on the wide lot by expressing a vertical orientation in the use of projections, windows, and other details, while using common elements found in the vicinity, including bay windows, walk-up units, and compatible materials. The Project considers the approved project to the north and provides matching lightwells and an open rear yard equal to 31-feet 3-inches, which matches the approved building to the north and is the minimum required rear yard in the RTO District. The building has a height of 56-feet at the building's front and a proposed ultimate height of 72 feet to the top of the elevator penthouse, which is appropriate for the site location and size. The proposed size, shape, and arrangement of the Project will also match that of neighboring structures, and the Project overall will aesthetically enhance the neighborhood.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Project provides 15 unbundled off-street vehicle parking spaces, 40 Class 1 bicycle parking spaces, and 2 Class 2 bicycle parking spaces. The proposed off-street vehicle parking spaces are underground and accessed by a 10-foot-wide curb cut, meeting the Department's standard width, lessening the number of on-street parking spaces removed to accommodate the Project.*

*The Project will increase housing density in a location that residents are afforded proximity to MUNI transit services, and will provide unbundled off-street parking and bicycle parking for residents and their guests. The Project is near the intersection of Church Street and Market Street, is within walking distance to 14 MUNI lines and 36 MUNI stops. It is assumed that the project will increase commuter traffic but should not impede MUNI transit service or overburden streets or neighborhood parking, as the Project will provide multiple transportation options. The proposed use is designed to meet the needs of the immediate neighborhood, should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed Project includes a residential use consistent with the surrounding properties and is not likely to add noxious or offensive emissions.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The Project will provide usable open space as required by the Planning Code in various forms throughout the property and enhance the open space by increasing the open area of the rear yard. The proposed off-street vehicle parking spaces are underground and accessed by a 10-foot-wide curb cut, meeting the Department's standard width. Permeable materials, 2 Class 2 bicycle parking spaces, and street trees will be added within the public right of way in front of*



*the site. The facade treatment and materials of the building have been appropriately selected to be compatible with the surrounding neighborhood and meet applicable Design Guidelines and the Market and Octavia Area Plan.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

*The proposed project is consistent with the stated purpose of RTO Districts in that the project design enhances the area, provides a mixture of housing types in the form of multi-family development within an area well served by transit.*

**9. Development of Large Lots in RTO Zoning Districts Findings.** In addition to the criteria of Section 303(r) of this Code, the Commission shall consider the extent to which the following criteria are met:

- A. The mass and articulation of the proposed structures are compatible with the intended scale of the district.

*The Project is compatible with the intended scale of the district because the mass and articulation conform with the Planning Code development standards for the RTO District with the applicable City design guidelines for residential projects. The Project will pursue an individually requested state density bonus under the State Density Bonus Law, and applicable waivers will be in conformity with the zoning district, area plan, and general plan.*

- B. For development sites greater than ½-acre, the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of streets and alleys, and foster beneficial pedestrian and vehicular circulation.

*The Project site is less than ½-acre, and therefore this criterion is not applicable.*

- C. The site plan, including the introduction of new streets and alleys, the provision of open space and landscaping, and the articulation and massing of buildings, is compatible with the goals and policies of the applicable Area Plan in the General Plan.

*The Project does not propose the introduction of new streets and alleys. The building proposes a compliant amount of useable open space, and the design of the building complies with the Market and Octavia Area Plan and the General Plan.*

**10. Residential Demolition Findings.** Section 317 of the Planning Code establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert residential buildings. In addition to the criteria of Section 303(c) of this Code, the Commission shall consider the extent to which the following criteria are met pursuant to Section 317(g)(6):

- a) Whether the property is free of a history of serious, continuing code violations;

*A review of the Department of Building Inspection and the Planning Department databases showed no open enforcement cases or notices of violation (NOV) for the subject property of the Department of Building Inspection and the Planning Department databases showed no open enforcement cases or notices of violation (NOV) for the subject property.*

- b) Whether the housing has been maintained in a decent, safe, and sanitary condition;

*The existing building appears to be in decent, safe, and sanitary condition with an original construction date circa 1919.*

- c) Whether the property is an "historical resource" under CEQA;

*Although the existing building is more than 50 years old, a review of supplemental information resulted in a determination that the property is not a historical resource.*

- d) Whether the removal of the resource will have a substantial adverse impact under CEQA;

*The existing building is not a historical resource and its removal will not have any substantial adverse impacts under CEQA.*

- e) Whether the Project converts rental housing to other forms of tenure or occupancy;

*The Project will replace the existing rental unit with ownership units.*

- f) Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

*The Planning Department cannot definitively determine whether or not the single-family home is subject to the Rent Stabilization and Arbitration Ordinance; this being under the purview of the Rent Board. The existing unit is tenant occupied and will be subject to eviction controls under the Rent Ordinance.*

- g) Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

*Although the Project proposes the demolition of a four-bedroom single-family dwelling, there will be a net gain of 30 units at the project site. The project would be consistent with the density and development pattern as it would provide a five-story building with 31 dwelling units within a neighborhood that is comprised of mostly two- and three-story multi-family and mixed-use buildings and one-family dwellings.*

- h) Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

*The Project conserves neighborhood character with appropriate scale, design, and materials, and improves cultural and economic diversity by constructing a new building with 31 units, the majority being family-sized dwelling units, maximizing the density of the site and that are consistent with the applicable Design Guidelines, Market and Octavia Area Plan, and the provisions of the RTO Zoning District.*

- i) Whether the Project protects the relative affordability of existing housing;

*The Project removes 1 dwelling unit, which is generally considered more affordable than more recently constructed units. The Project results in 31 units with a new building that maximizes the allowed density of the lot and provides Below Market Rate units by use of the State Density Bonus Law and compliance with the Inclusionary Affordable Housing Program. The property is compliant with the applicable Design Guidelines and Market and Octavia Plan. Overall, the Project is proposing to increase the total number of dwelling units, while maximizing the amount and types of housing in the neighborhood to serve a wide variety of people, including a range of income, and household and family compositions, and will contribute positively to the City's housing stock.*

- j) Whether the Project increases the number of permanently affordable units as governed by Section 415;

*The Project is subject to the provisions of Planning Code Section 415, as the Project proposes more than 10 units. Three units will be restricted at 80% AMI under the Inclusionary Program and the Project Sponsor is further restricting two units at 80% AMI to qualify for a 46.25% bonus under State Density Bonus Law. The two additional restricted units will be subject to the same requirements as the three Inclusionary Units, including, but not limited to, the requirements set forth in the Inclusionary Affordable Housing Program Monitoring and Procedures Manual, Zoning Administrator Bulletin 10, Planning Code Section 415.*

- k) Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

*The Project represents the redevelopment on a parcel within an established neighborhood at a dwelling unit density consistent with the requirements of the RTO Zoning District and State Density Bonus Law.*

- l) Whether the project increases the number of family-sized units on-site;

*The Project will create 30 family-sized dwelling units by providing 19 two-bedroom units and 11 three-bedroom units, resulting in a net increase of 30 family-sized units on the site.*

- m) Whether the Project creates new supportive housing;

*The Project does not create supportive housing.*

- n) Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

*On balance, the overall scale, design, and materials of the proposed building is consistent with the block face and complement the neighborhood character with traditional building materials and a contemporary design while taking into consideration the existing adjacent lots and buildings and the site's unique wide lot configuration. The neighborhood is characterized by eclectic building styles and types. The façade treatment and materials of the building have been appropriately selected to be compatible with the surrounding neighborhood. The Project is compliant with the Ground Floor Residential Design Guideline, Urban Design Guidelines, and Market and Octavia Plan, and contributes to the mixed visual character of the neighborhood. The new building is compatible with the neighborhood and Market and Octavia Area Plan.*

- o) Whether the Project increases the number of on-site dwelling units;

*The Project will provide a net gain of 30 units at the site. The proposed replacement structure is in keeping with the scale and mass of the immediately surrounding development.*

- p) Whether the Project increases the number of on-site bedrooms.

*The Project proposes 31 units and provides 19 two-bedroom units and 11 three-bedroom units, resulting in a net increase of 30 family-sized units on the site.*

- q) Whether or not the replacement project would maximize density on the subject lot; and,

*The Project proposes 31 units and maximizes the density on the Property by use of the State Density Bonus Law, as Planning Code Section 209.5 principally permits up to 21 units on the lot in the RTO Zoning District.*

- r) If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all the existing units with new dwelling units of a similar size and with the same number of bedrooms.

*The project will demolish 1 residential unit containing four bedrooms, within an 18,964 square foot building for the construction of 31 dwelling units ranging from one-to-three bedrooms and 760 to 1,460 square feet in size. The existing building containing 1 dwelling unit was constructed prior to 1979 and can be assumed to be subject to eviction controls under the Rent Ordinance.*

**11. Individually Requested State Density Bonus Findings.** Pursuant to Planning Code Section 206.6(e), the Planning Commission shall make the following findings as applicable for any application for a Density Bonus, Incentive, Concession, or Waiver for any Individually Requested Density Bonus Project:

- A. The Housing Project is eligible for the Individually Requested Density Bonus Program.

*The Project consists of 5 or more dwelling units on a site in the Residential Transit Orientated (RTO) Zoning District that is currently developed as a two-story residential building with 1 dwelling and is not*

*subject to the San Francisco Rent Stabilization and Arbitration Ordinance and is, therefore, eligible for the Individually Requested Density Bonus Program.*

*The base density study for the project includes 21 units. The Project provides at least 14% of the dwelling units in the base density study (3 units) as affordable to low income households, defined as those earning 80% of area median income, and 2 additional units will be provided at below market rate for compliance with the Inclusionary affordable housing Program, and is therefore entitled to a 46.25% density bonus under California Government Code Sections 65915 et sec.*

- B. The Housing Project has demonstrated that any Concessions or Incentives reduce actual housing costs, as defined in Section 50052.5 of the California Health and Safety Code, or for rents for the targeted units, based upon the financial analysis and documentation provided.

*The Project is not seeking any concessions or incentives under the Individually Requested Density Bonus Program.*

- C. If a waiver or modification is requested, a finding that the Development Standards for which the waiver is requested would have the effect of physically precluding the construction of the Housing Project with the Density Bonus or Concessions and Incentives permitted.

*In order to achieve the proposed residential density, the Project is requesting a waiver from Front Setback (Section 132), Rear Yard (Section 134), Dwelling Unit Exposure (Section 140), and Height (Section 260). Without the waivers, the Project will be physically precluded from constructing the additional 10 dwelling units as permitted under the Individually Requested Density Bonus Program, thus preventing the Project from achieving a 46.25% density bonus. The height and bulk district is 40-X and the proposed height is 56 feet. The additional stories are necessary to accommodate the bonus units.*

- D. If the Density Bonus is based all or in part on donation of land, a finding that all the requirements included in Government Code Section 65915(g) have been met.

*The Density Bonus for the Project is not based on any donation of land.*

- E. If the Density Bonus or Concession/Incentive is based all or in part on the inclusion of a Child Care Facility, a finding that all the requirements included in Government Code Section 65915(h) have been met.

*The Project does not include a Child Care Facility.*

- F. If the Concession or Incentive includes mixed-use development, a finding that all the requirements included in Government Code Section 65915(k)(2) have been met.

*The Project is not seeking any concessions or incentives under the Individually Requested Density Bonus Program.*

**12. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and

Policies of the General Plan:

#### HOUSING ELEMENT

##### Objectives and Policies

#### OBJECTIVE 1.B

##### ADVANCE EQUITABLE HOUSING ACCESS.

###### Policy 5

Improve access to the available affordable rental and homeownership units especially for disproportionately underserved racial and social groups.

#### OBJECTIVE 3.B

##### CREASE A SENSE OF BELONGING FOR ALL COMMUNITIES OF COLOR WITHIN WELL-RESOURCED NEIGHBORHOODS THROUGH EXPANDED HOUSING CHOICE.

###### Policy 19

enable low and moderate-income households, particularly American Indian, Black, and other people of color, to live and prosper in Well-resourced Neighborhoods by increasing the number of permanently affordable housing units in those neighborhoods.

###### Policy 20

Increase mid-rise and small multi-family housing types by adopting zoning changes or density bonus programs in Well-resourced Neighborhoods and adjacent lower-density areas near transit, including along SFMTA Rapid Network and other transit.

###### POLICY 31

Facilitate small and mid-rise multi-family buildings that private development can deliver to serve middle-income households without deed restriction, including through adding units in lower density areas or by adding Accessory Dwelling Units (ADUs).

#### OBJECTIVE 4.A

##### SUBSTANTIALLY EXPAND THE AMOUNT OF PERMANENTLY AFFORDABLE HOUSING FOR EXTREMELY LOW- TO MODERATE-INCOME HOUSEHOLDS.

###### Policy 19

Enable low and moderate-income households, particularly American Indian, Black, and other people of color, to live and prosper in Well-resourced Neighborhoods by increasing the number of permanently affordable housing units in those neighborhoods.

###### Policy 23

Retain and increase the number of moderate- and middle-income households by increasing their homebuying opportunities and reversing the shortage in housing that is affordable to these households.

Policy 24

Enable mixed-income development projects to maximize the number of permanently affordable housing units constructed, in balance with delivering other permanent community benefits that advance racial and social equity.

**OBJECTIVE 4.B**

**EXPAND SMALL AND MID-RISE MULTI-FAMILY HOUSING PRODUCTION TO SERVE OUR WORKFORCE, PRIORITIZING MIDDLE-INCOME HOUSEHOLDS.**

Policy 31

Facilitate small and mid-rise multi-family buildings that private development can deliver to serve middle-income households without deed restriction, including through adding units in lower density areas or by adding Accessory Dwelling Units (ADUs).

**OBJECTIVE 5.A**

**CONNECT PEOPLE TO JOBS AND THEIR NEIGHBORHOOD WITH NUMEROUS, EQUITABLE, AND HEALTHY TRANSPORTATION AND MOBILITY OPTIONS.**

Policy 37

Facilitate neighborhoods where proximity to daily needs and high-quality community services and amenities promotes social connections, supports caregivers, reduces the need for private auto travel, and advances healthy activities

**URBAN DESIGN ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

**MARKET AND OCTAVIA AREA PLAN**

**Land Use**

**Objectives and Policies**



**OBJECTIVE 2.2**

**ENCOURAGE CONSTRUCTION OF RESIDENTIAL INFILL THROUGHOUT THE PLAN AREA**

**Policy 2.2.2**

Ensure a mix of unit sizes is built in new development and is maintained in existing housing stock.

**OBJECTIVE 2.4**

**PROVIDE INCREASED HOUSING OPPORTUNITIES AFFORDABLE TO HOUSEHOLDS AT VARYING INCOME LEVELS.**

**POLICY 2.4.1**

Disaggregate the cost of parking from the cost of housing.

*On balance, the Project is consistent with the Objectives and Policies of the General Plan, the newly adopted Housing Element and the Market and Octavia Area Plan. The Project Site is within the Market and Octavia Planning Area, which encourages both small and large scale residential infill development that maximizes the amount and types of housing in the neighborhood to serve a wide variety of people, including a range of incomes, ages, and household and family compositions. The Project will replace an existing non-complying two-story building currently containing 1 dwelling unit with a five-story building, providing 31-dwelling units, only 1 of which will have less than two-bedrooms, and 5 on-site affordable housing units in a well-resourced neighborhood. The Project will assist in meeting the City's affordable housing goals. The Project is also in proximity to ample public transportation and provides unbundled off-street vehicle parking and bicycle parking for residents and their guests.*

*The Project utilizes a contemporary architectural style that is sensitive to the scale and neighborhood fabric. The Project provides for a high-quality designed exterior, which features elements and materials found in the immediate vicinity and broader neighborhood, including brick, articulated bay windows, and walk up residential units.*

**13. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project site does not possess any neighborhood-serving retail uses. The Project provides 31 new dwelling units, which will enhance the nearby retail uses by providing new residents, who may patronize and/or own these businesses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project would provide 31 new dwelling units ranging from one-to-three bedrooms, 5 of which will be below-market rate dwelling units, thus resulting in an overall increase in the neighborhood housing stock. The Project is expressive in design and relates well to the scale and form of the surrounding neighborhood. For these reasons, the Project would protect and preserve the cultural*

*and economic diversity of the neighborhood.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not currently possess any existing affordable housing. The Project will comply with the City's Inclusionary Housing Program by providing 3 below-market rate dwelling units, 2 additional below-market rate dwelling units will be provided on site for compliance with the State Density Bonus Law. Therefore, the Project will increase the stock of affordable housing units in the City.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project will increase housing density in a location that residents are afforded proximity to MUNI transit services, and will provide unbundled off-street parking and bicycle parking for residents and their guests. Project is located within 250 feet of Church Street, a designated transit preferential street in the General Plan. The Project Site, near the intersection of Church Street and Market Street, is within walking distance to 14 MUNI lines and 36 MUNI stops. It is assumed that the project will increase commuter traffic but should not impede MUNI transit service or overburden streets or neighborhood parking, as the Project will provide multiple transportation options.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development and provides new housing, which is a top priority for the City.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*Currently, the Project Site does not contain any City Landmarks or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project does not cast shadows on a public park, nor will it impact vistas from a public park.*

- 14. First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Administrative Code Section 83.11), and the Project

Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

*The Project Sponsor submitted a First Source Hiring Affidavit and prior to issuance of a building permit will execute a First Source Hiring Memorandum of Understanding and a First Source Hiring Agreement with the City's First Source Hiring Administration.*

15. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
16. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2021-011813CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated February 27, 2023, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

The Project is consistent with the adopted zoning controls for the project site in the Market and Octavia (Area Plan) and was encompassed within the analysis contained in the programmatic community plan EIR (PEIR) prepared for the Area Plan and certified by the Planning Commission. Applicable mitigation measures from the PEIR were identified in the community plan evaluation prepared for the project and provided in the project specific Mitigation Monitoring and Reporting Program (MMRP). The Planning Commission hereby finds that feasible mitigation measures from the PEIR will be undertaken as part of the project and adopts the MMRP as condition of project approval included hereto as Exhibit C,

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 23, 2023.



Jonas P. Ionin  
Commission Secretary

AYES: Braun, Diamond, Imperial , Koppel, Moore, Tanner  
NAYS: None  
ABSENT: Ruiz  
ADOPTED: March 23, 2023

# EXHIBIT A

## Authorization

This authorization is for a conditional use to allow demolition of an existing residential building and development on a lot greater than 10,000 square feet located at 67-69 Belcher Street, Block 3537, and Lot 074 pursuant to Planning Code Section(s) 209.4, 303, and 317 within the RTO (Residential Transit Oriented) District and a 40-X Height and Bulk District; in general conformance with plans, dated February 27, 2023, and stamped “EXHIBIT B” included in the docket for Record No. 2021-011813CUA and subject to conditions of approval reviewed and approved by the Commission on **March 23, 2023** under Motion No **21283**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

## Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **March 23, 2023** under Motion No **21283**.

## Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' [and the 'Exhibit C'] of this Planning Commission Motion No. **21283** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

## Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

## Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

# CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

## Performance

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 6. Mitigation Measures.** Feasible mitigation measures from the programmatic EIR for the Market and Octavia Area Plan where the project site is located that are applicable to the project will be undertaken. These mitigation measures are necessary to avoid potential significant effects of the proposed project and are described in the project specific MMRP attached as Exhibit C. The measures have been agreed to by the project sponsor. Their implementation are conditions of project approval.

*For information about compliance, contact Code Enforcement, Planning Department at 628-652-7463, [www.sfplanning.org](http://www.sfplanning.org)*

## **Design – Compliance at Plan Stage**

- 7. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 8. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 9. Laundry Facilities.** The Project Sponsor shall provide sufficient on-site laundering access for residential occupants through on-site communal laundry facilities, individual in-unit laundry hook-ups, or some combination thereof.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 10. Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sfplanning.org](http://www.sfplanning.org)*



- 11. Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department approval of the building / site permit application.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org).*

- 12. Streetscape Plan.** Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 13. Transformer Vault Location.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department in consultation with Public Works shall require the following location(s) for transformer vault(s) for this project: sidewalk. The above requirement shall adhere to the Memorandum of Understanding regarding Electrical Transformer Locations for Private Development Projects between Public Works and the Planning Department dated January 2, 2019.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 628.271.2000, [www.sfpwpublicworks.org](http://www.sfpwpublicworks.org)*

- 14. Overhead Wiring.** The Property owner will allow MUNI to install eyebolts in the building adjacent to its electric streetcar line to support its overhead wire system if requested by MUNI or MTA.

*For information about compliance, contact San Francisco Municipal Railway (Muni), San Francisco Municipal Transit Agency (SFMTA), at 415.701.4500, [www.sfmta.org](http://www.sfmta.org)*

## Parking and Traffic

- 15. Transportation Demand Management (TDM) Program.** Pursuant to Planning Code Section 169, the Project shall finalize a TDM Plan prior to the issuance of the first Building Permit or Site Permit to construct the project and/or commence the approved uses. The Property Owner, and all successors, shall ensure ongoing compliance with the TDM Program for the life of the Project, which may include providing a TDM Coordinator, providing access to City staff for site inspections, submitting appropriate documentation, paying application fees associated with required monitoring and reporting, and other actions.

Prior to the issuance of the first Building Permit or Site Permit, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco

for the subject property to document compliance with the TDM Program. This Notice shall provide the finalized TDM Plan for the Project, including the relevant details associated with each TDM measure included in the Plan, as well as associated monitoring, reporting, and compliance requirements.

*For information about compliance, contact the TDM Performance Manager at [tdm@sfgov.org](mailto:tdm@sfgov.org) or 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 16. Parking for Affordable Units.** All off-street parking spaces shall be made available to Project residents only as a separate “add-on” option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner’s rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 17. Bicycle Parking** The Project shall provide no fewer than **31** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 18. Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than **23** off-street parking spaces.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 19. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Provisions

- 20. Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 21. First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

*For information about compliance, contact the First Source Hiring Manager at 415.581.2335, [www.onestopSF.org](http://www.onestopSF.org)*

- 22. Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 23. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

- 24. Market Octavia Community Improvements Fund.** The Project is subject to the Market and Octavia Community Improvements Fee, as applicable, pursuant to Planning Code Section 421.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7340, [www.sfplanning.org](http://www.sfplanning.org)*

## Affordable Units

The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project Sponsor shall comply with the requirements in place at the time of issuance of the Site Permit.

*For information about compliance on any of the Conditions noted below, contact the Planning Department at 628-652-7600 or at [www.sf-planning.org](http://www.sf-planning.org) or the Mayor's Office of Housing and Community Development at 415-701-5500, or at [www.sfmohcd.org](http://www.sfmohcd.org).*

- 25. State Density Bonus Regulatory Agreement.** Recipients of development bonuses under this Section 206.6 shall enter into a Regulatory Agreement with the City, as follows.
- A. The terms of the agreement shall be acceptable in form and content to the Planning Director, the Director of MOHCD, and the City Attorney. The Planning Director shall have the authority to execute such agreements.
  - B. Following execution of the agreement by all parties, the completed Regulatory Agreement, or memorandum thereof, shall be recorded and the conditions filed and recorded on the Project.

- C. The approval and recordation of the Regulatory Agreement shall take place prior to the issuance of the First Construction Document. The Regulatory Agreement shall be binding to all future owners and successors in interest.
- D. The Regulatory Agreement shall be consistent with the guidelines of the City's Inclusionary Housing Program and shall include at a minimum the following:
  - i. The total number of dwelling units approved for the Project, including the number of restricted affordable units;
  - ii. A description of the household income group to be accommodated by the HOME-SF Units, and the standards for determining the corresponding Affordable Sales Price. If required by the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"), the project sponsor must commit to completing a market survey of the area before marketing restricted affordable units;
  - iii. The location, dwelling unit sizes (in square feet), and number of bedrooms of the restricted affordable units;
  - iv. Term of use restrictions for the life of the project;
  - v. A schedule for completion and occupancy of restricted affordable units;
  - vi. A description of any Concession, Incentive, waiver, or modification, if any, being provided by the City;
  - vii. A description of remedies for breach of the agreement (the City may identify tenants or qualified purchasers as third party beneficiaries under the agreement); and
  - viii. Other provisions to ensure implementation and compliance with 206.6.

*For information about compliance, contact the Case Planner, Planning Department at 415-575-9087, [www.sf-planning.org](http://www.sf-planning.org) or the Mayor's Office of Housing and Community Development at (415) 701-5500, [www.sfmohcd.org](http://www.sfmohcd.org).*

- 26. Number of Affordable Units in a State Density Bonus Project.** The Project Sponsor has elected the Combination Alternative pursuant to Planning Code Section 415.5. The applicable on-site rate is 14% and the Affordable Housing Fee rate is 20%. The Sponsor has satisfied 75% of the Inclusionary Obligation by providing 3 Affordable Units on-site, which represents 14% of the 21-unit base project. If the number of market-rate units change, the number of required Affordable Units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development ("MOHCD"). The Sponsor will satisfy the remaining 25% of the Inclusionary Obligation through payment of the Affordable Housing Fee. The Project Sponsor must pay the Fee in full sum to the Development Fee Collection Unit at the DBI for use by MOHCD prior to the issuance of the first construction document. In addition, the Project Sponsor is restricting 2 additional units at 80% AMI to qualify for a 46.25% bonus.
- 27. Unit Mix.** The Project contains, 1 one-bedroom, 19 two-bedroom, and 13 three-bedroom units; therefore, the required affordable unit mix is 0 one-bedroom, 2 two-bedroom, and 1 three-bedroom units. If the overall unit mix of the Project changes, the affordable unit mix will be modified accordingly with written approval from the

Planning Department in consultation with MOHCD. In addition, the Project Sponsor is restricting 2 additional units at 80% AMI to qualify for a 46.25% bonus.

**28. Unit Tenure.** The project is an Ownership Housing Project as defined in Section 415.2. If the Project changes from an Ownership Housing Project to a Rental Housing Project shall require Planning Commission approval pursuant to Planning Code Section 415.5(g)(5). Conversion from an Owned Unit to a Rental Unit shall follow the procedures set forth in the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual").

**29. Income Levels for Affordable Units.** Pursuant to Planning Code Section 415.3, the Project is required to provide 14% of the proposed dwelling units as affordable to qualifying households at a price of 80% of Area Median Income ("AMI"), as published by MOHCD and that is adjusted for household size. In addition, the Project Sponsor is restricting 2 additional units at 80% AMI to qualify for a 46.25% bonus.

The Affordable Units that satisfy both the Density Bonus Law and the Inclusionary Affordable Housing Program shall be sold to lower-income households, as defined as households earning 80% of AMI in the California Health and Safety Code Section 50105 and/or California Government Code Sections 65915-65918, the State Density Bonus Law. The income table used to determine the price and income levels for the Density Bonus units shall be the table required by the State Density Bonus Law. If the resultant sales prices or income levels at 80% of AMI under the table required by the State Density Bonus Law are higher than the sales prices or income levels at 80% of AMI under the Inclusionary Affordable Housing Program, the sales prices and income levels shall default to the maximum allowable sales prices or income levels for Affordable Units under the Inclusionary Affordable Housing Program. After such Density Bonus Law units have been sold for a term of 55 years, the subsequent sales prices and income levels of such units may be adjusted to (80) percent of Area Median Income under the Inclusionary Affordable Housing Program, using income table called "Maximum Income by Household Size derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco," and shall remain affordable for the remainder of the life of the Project. The initial and subsequent resale prices of such units shall be calculated according to the Procedures Manual. The remaining units being offered for sale shall be sold to qualifying first-time homebuyer households, as defined in the Procedures Manual, whose gross annual income, adjusted for household size, does not exceed eighty (80) percent of Area Median Income under the income table called "Maximum Income by Household Size derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco." The initial and subsequent resale prices of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.

**30. Minimum Unit Sizes.** Pursuant to Planning Code Section 415.6(f)(2), the Affordable Units shall meet the minimum unit sizes standards established by the California Tax Credit Allocation Committee (TCAC) as of May 16, 2017. One-bedroom units must be at least 450 square feet, two-bedroom units must be at least 700 square feet, and three-bedroom units must be at least 900 square feet. Studio units must be at least 300 square feet pursuant to Planning Code Section 415.6(f)(2). The total residential floor area devoted to the Affordable Units shall not be less than the applicable percentage applied to the total residential floor area of the overall project, provided that a 10% variation in floor area is permitted.

- 31. Notice of Special Restrictions.** Prior to the issuance of the architectural addendum or twelve months prior to the first certificate of occupancy, whichever is earlier, the Project Sponsor shall record a Notice of Special Restrictions on the property that contains these conditions of approval and a reduced set of plans that identify the Affordable Units satisfying the requirements of this approval. The Project Sponsor shall comply with Zoning Administrator Bulletin No. 10 or any other affordable housing designation standards published by the Planning Department and updated periodically. The Project Sponsor shall provide a copy of the recorded Notice of Special Restrictions to the Planning Department and MOHCD or its successor prior to the issuance of the architectural addendum. If a Project does not anticipate an architectural addendum, then the Notice of Special Restrictions shall be recorded prior to the issuance of the Building Permit. Following the designation of Affordable Units, changes to the overall residential square footage or to any unit within the Project require written approval from the Planning Department in consultation with MOHCD who will determine if the changes are consistent with Zoning Administrator Bulletin No. 10.
- 32. Construction Timeline.** Prior to the issuance of the Site Permit, the Project Sponsor shall submit an estimated construction timeline to the Department in accordance with Section 415.6(g).
- 33. Phasing.** If any building permit is issued for partial phasing of the Project, the Project shall have designated not less than 14 percent (14%) of each phase's total number of dwelling units as on-site Affordable Units.
- 34. Duration.** Under Planning Code Section 415.8, all units are constructed pursuant to Section 415.6, and therefore must remain Affordable to Qualifying Households for the life of the project.
- 35. Expiration of the Inclusionary Rate.** Pursuant to Planning Code Section 415.6(a)(10), if the Project has not obtained a site or building permit within 30 months of Planning Commission Approval of this Motion No. 21283, then it is subject to the Inclusionary Affordable Housing Requirements in effect at the time of site or building permit issuance.
- 36. Modification of Elected Alternative.** Pursuant to Planning Code Section 415.5(g)(3), any proposed change from the on-site alternative to another alternative, including the Affordable Housing Fee, requires public notice for hearing and approval from the Planning Commission to amend these Conditions of Approval.
- 37. 20% below market prices.** Pursuant to Planning Code Section 415.6, the maximum affordable sales price shall be no higher than 20% below market prices for the neighborhood within which the project is located. MOHCD shall adjust the allowable sale prices, and the eligible households for such units, accordingly.
- 38. Procedures Manual.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Planning Code Section 415 et seq. and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"), as amended from time to time. The Procedures Manual is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or MOHCD websites, including on the internet at: <https://sfmohcd.org/inclusionary-housing-program-manuals>

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for initial sale and resale.

- a) Comparability. The affordable unit(s) shall (1) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (2) be evenly distributed throughout the building floor plates; (3) be of comparable overall quality, construction, and exterior appearance as the market rate units in the project; and (4) be maintained in the same manner as the market units. The interior features in Affordable Units should be generally the same as those of the market units in the project, but need not be the same make, model, or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in Zoning Administrator Bulletin No. 10 and the Procedures Manual. Any material changes to an affordable unit following recordation of the Notice of Special Restrictions (referenced in Section 8) requires written approval from the Planning Department in consultation with MOHCD.
- b) Tenure. The project is an Ownership Housing Project. Therefore, the affordable unit(s) shall be sold to low-income households, as defined in the Planning Code and Procedures Manual. The initial and subsequent sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- c) Marketing. The Project Sponsor is responsible for following the marketing requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of Affordable Units. The Project Sponsor shall submit a request for pricing determination from MOHCD at least eight months prior to first certificate of occupancy.
- d) Parking. The 15 total number of parking spaces offered to residential buyers in the Project shall be made available to buyers of Affordable Units according to the Procedures Manual.

**39. Compliance.** If the Project fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of the Project's compliance. The Planning Department, MOHCD and City Attorney's Office may also enforce against violations of the Inclusionary Affordable Housing program. A Project's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the Project and to pursue any and all available remedies at law, including penalties and interest, if applicable.

## Monitoring - After Entitlement

**40. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*



- 41. Monitoring.** The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 350 and work with the Planning Department for information about compliance.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 42. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Operation

- 43. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

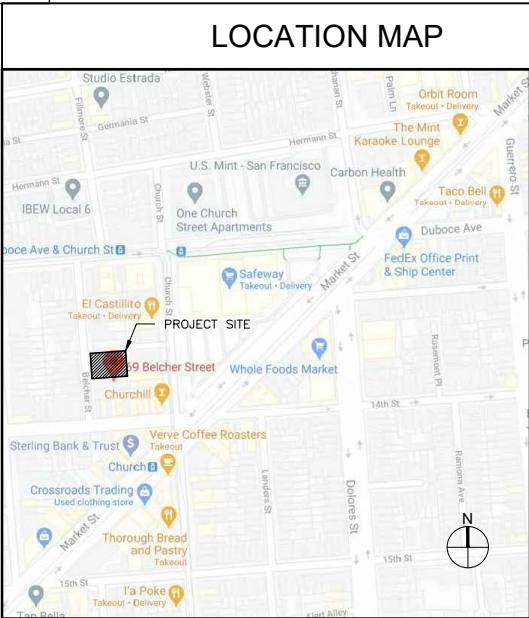
*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 628.271.2000, [www.sfpublishworks.org](http://www.sfpublishworks.org)*

- 44. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

PROJECT DIRECTORY	
PROJECT SPONSOR:	67-69 BELCHER STREET LLC 1055 ASHBURY ST. SAN FRANCISCO, CA 94117 CONTACT: CHRIS DURKIN CHRIS@DURKININCORPORATED.COM
ARCHITECT:	STANLEY SAITOWITZ   NATOMA ARCHITECTS 1022 NATOMA STREET #3 SAN FRANCISCO, CA 94103 415. 626.8977 X112 CONTACT: NEIL KAYE NKAYE@SAITOWITZ.COM
LANDSCAPE:	CREO LANDSCAPE ARCHITECTURE 535 MISSION ST., 14TH FLOOR SAN FRANCISCO, CA 94105 415. 688.2506 CONTACT: SCOTT MULHOLLAND SCOTT@CREOLANDARCH.COM
CIVIL:	BKF ENGINEERS 1646 N CALIFORNIA BLVD, SUITE 400 WALNUT CREEK, CA 94596 925. 940.2200 CONTACT: CHRISTINE GURSKIE CGURSKIE@BKF.COM
GEOTECHNICAL:	ROLLO & RIDLEY 989 SUTTER ST., UNIT 4 SAN FRANCISCO, CA 94109 415. 670.9123 CONTACT: FRANK ROLLO FRANKJROLLO@ROLLOANDRIDLEY.COM
SURVEY:	WESTOVER SURVEYING 336 CLAREMONT BLVD, STE 1 SAN FRANCISCO, CA 94127 415. 242.5400 CONTACT: DANIEL WESTOVER DAN@WESTOVERSURVEYING.COM
FIRE FLOW:	MADDEN PLUMBING 1228 FOLSOM ST, STE 101 SAN FRANCISCO, CA 94103 415.923.8510 CONTACT: JAMES MADDEN JAMES@MADDENPLUMBINGLLC.COM
STRUCTURAL:	IMEG CORP 160 PINE STREET, SUITE 350 SAN FRANCISCO, CA 94111 415.541.9477
MEP	ACIES ENGINEERING 400 N.MCCARTHY BLVD., SUITE 250 MILPITAS, CA 95035 408.522.5255
GREEN RATER:	TBD TBD
ACOUSTIC:	TBD TBD
SPECS:	TBD TBD
WATERPROOF:	TBD TBD
EBM:	TBD TBD
EXPEDITOR:	TBD TBD

PROJECT DATA	
DBI PERMIT #	DBI 2022-1216-8581
PLANNING PRJ #	2021-011813PRJ
ADDRESS	67-69 BELCHER ST. SAN FRANCISCO, CA 94114
BLOCK/LOT	3537 / 074
CROSS STREETS	14TH ST. & DUBOCE AVE.
ZONING	RTO & MARKET OCTAVIA
HISTORIC RESOURCE	C
EXISTING TO BE DEMOLISHED	1 STORY CONCRETE BUILDING
LOT DIM / AREA	100' X 125' = 12,500 SF
LOT COVERAGE	99' X 93'-5" = 9,248.25 SF=74%
OPEN SPACE	4,057 SF REQUIRED 4,100 SF PROVIDED
TOTAL BUILDING GROSS AREA	44,600 SF + 12,500 SF BASEMENT = 57,100 SF
OCCUPANCY	R2 MULTI-FAMILY RESIDENTIAL S2 GARAGE
DWELLINGS	31(1 1-BR, 19 2-BR, 11 3-BR)
ASSIGNED VEHICULAR STALLS	15
BIKES	40 CLASS-I, 2 CLASS-II
CONSTRUCTION TYPE	III-A
STORIES	5 ALLOWED CBC TBL 504.4 5 PROVIDED OVER BASEMENT W/ROOF DECK
HEIGHT	40-X SFPC HT07 + SB35 WAIVER 65' ALLOWED CBC TBL 504.3 56' PROVIDED
PENTHOUSE	16' ALLOWED SFPC 260(b)(1)(B) 28' ALLOWED CBC 1410.2.1(EX) 16' PROVIDED
SPRINKLERS	NFPA 13 THROUGHOUT
DWELLING ADAPTABLE	PRIVATELY FUNDED MULTI-FAMILY CBC 11A, FHA
COMMON AREA ACCESSIBILITY	CBC 11B, ADA
SUSTAINABILITY	SITE PERMIT (THIS PERMIT) SF DBI GS 1 ADDENDA 3 SF DBI GS 2 GREEN POINT RATED 75+



PROJECT DESCRIPTION
THE PROJECT LOCATED AT 67-69 BELCHER (APN 3537-074), WITH A SITE AREA OF APPROXIMATELY 12,250 SF. THE PROPOSED NEW DEVELOPMENT WOULD BE FOR A FIVE STORY RESIDENTIAL DEVELOPMENT THAT INCLUDES 31 UNITS OF HOUSING. THE PROJECT SPONSORS PROPOSE TO THE DEMOLISH EXISTING INDUSTRIAL BUILDING WHICH CONTAINS ONE RESIDENTIAL UNIT. THE EXISTING BUILDING OCCUPIES THE ENTIRE LOT WITH NO SETBACKS.
THE NEW PROJECT WOULD BE UP TO 56' TALL (+16' TO TOP OF ELEVATOR PENTHOUSE), WITH 31 DWELLING UNITS COMPRISED OF ONE, TWO AND THREE BEDROOMS. THE NEW BUILDING WOULD HAVE APPROXIMATELY 57,100 GROSS SQUARE FEET OF BUILDING AREA AND WILL CONTAIN A SUBTERRANEAN GARAGE
AS PERMITTED BY THE STATE DENSITY BONUS REGULATIONS,THE PROJECT REQUESTS FOUR WAIVERS; <div><div>1. BUILDING HEIGHT: 40' PERMITTED TO 56' W/ DENSITY BONUS</div><div>2. REAR-YARD: A WAIVER IS BEING SOUGHT FOR THE LAST 10' OF PROJECT ABOVE 30' IN HEIGHT.</div><div>3. EXPOSURE: WAIVER FOR 10 UNITS IMPACTED BY REAR YARD WAIVER</div><div>4. FRONT SETBACK WAIVER</div></div>

CODES USED
SUBMITTED BEFORE JANUARY 1ST 2023 2019 CBC, SFBC (BUILDING) 2019 CFC (FIRE) 2019 CMC, SFMC (MECHANICAL) 2019 CEC, SFEC (ELECTRICAL) 2019 CPC, SFPC (PLUMBING) 2019 CEC (ENERGY) 2019 CGBC, SFGB (GREEN) 2019 SFHC (HOUSING) 2010 ADA FAIR HOUSING ACT DESIGN MANUAL NFPA 13 – SPRINKLER SYSTEMS NFPA 14 – STANDPIPE & HOSE NFPA 72 – FIRE ALARM DBI ADMIN BULLETINS SFFD ADMIN BULLETINS

RENDERING		
ADDENDA SCHEDULE		
SHEET #	SHEET TITLE	SCALE
A0.0	COVER SHEET	NTS
A0.1	PROJECT DATA	NTS
A0.2A	EXISTING SITE PLAN	1/16"=1'-0"
A0.2B	PROPOSED SITE PLAN	1/16"=1'-0"
A0.3	CONTXT	AS NOTED
A0.4A	DIAGRAMS - SDB INCENTIVES (MASSING)	NTS
A0.4B	DIAGRAMS - SDB INCENTIVES	1/8"=1'-0"
A0.4C	DIAGRAMS - REAR YARD CALCS	AS NOTED
A0.5A	DESIGN INTENT - MASSING	NTS
A0.5B	DESIGN INTENT - BAY WINDOWS & BASE	NTS
A0.5C	DESIGN INTENT - BAY WINDOWS COMPLIANCE	3/8"=1'-0"
A0.6	RENDERING	NTS
A0.7A	EXISTING PLAN	1"=10'-0"
A0.7B	EXISTING ELEVATION	1/8"=1'-0"
SU-1	SURVEY	1/8"=1'-0"
L2.00	LANDSCAPE MATERIALS PLAN - GROUND FLOOR	AS SHOWN
L2.02	LANDSCAPE MATERIALS PLAN - ROOF DECK	AS SHOWN
L5.00	LANDSCAPE MATERIAL IMAGERY	AS SHOWN
A1.0	BASEMENT PLAN	1/8"=1'-0"
A1.1	LEVEL 1 PLAN	1/8"=1'-0"
A1.2	LEVEL 2 PLAN	1/8"=1'-0"
A1.3	LEVEL 3 PLAN	1/8"=1'-0"
A1.4	LEVEL 4 PLAN	1/8"=1'-0"
A1.5	LEVEL 5 PLAN	1/8"=1'-0"
A1.6	ROOF PLAN	1/8"=1'-0"
A2.1	LONGITUDINAL SECTION	1/8"=1'-0"
A2.2	LONGITUDINAL SECTION	1/8"=1'-0"
A2.3	CROSS SECTION	1/8"=1'-0"
A3.1	WEST ELEVATION	1/8"=1'-0"
A3.2	EAST ELEVATION	1/8"=1'-0"
A3.3	SOUTH ELEVATION	1/8"=1'-0"
A3.4	NORTH ELEVATION	1/8"=1'-0"
A3.5	MATERIAL	NTS

REVISIONS	DATE
OWNER: 67-69 BELCHER STREET LLC 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: STANLEY SAITOWITZ   NATOMA ARCHITECTS INC. 1022 Natoma Street, No. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: BKF ENGINEERS 1646 N California Blvd, Suite 400 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: CREO LANDSCAPE ARCHITECT 535 Mission St., 14th Floor San Francisco, CA 94105 415. 688.2506	
STRUCTURAL ENGINEER: IMEG CORP 160 Pine Street, Suite 350 San Francisco, CA 94111 415-541-9477	
MEP ENGINEER: ACIES ENGINEERING 400 N.McCarthy Blvd., Suite 250 Milpitas, CA 95035 408-522-5255	
SURVEY: WESTOVER SURVEYING 336 Claremont Blvd., Ste 1 San Francisco, CA 94127 415. 242.5400	
GEOTECH: ROLLO & RIDLEY 989 Sutter St., Unit 4 San Francisco, CA 94109 415. 670.9123	
FIRE FLOW: MADDEN PLUMBING 1228 Folsom St, Ste 101 San Francisco, CA 94103 415.923.8510	
SPACE RESERVED FOR DBI AGENCY USE :	
<div><div>LICENSED ARCHITECT NEIL B. KAYE C 32749 Exp. 09/30/2023 STATE OF CALIFORNIA</div></div>	
67-69 BELCHER ST. SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: COVER SHEET	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	N.T.S.
DRAWN:	SSINAI © 2023 STANLEY SAITOWITZ   NATOMA ARCHITECTS INC.
SHEET NO: A0.0	

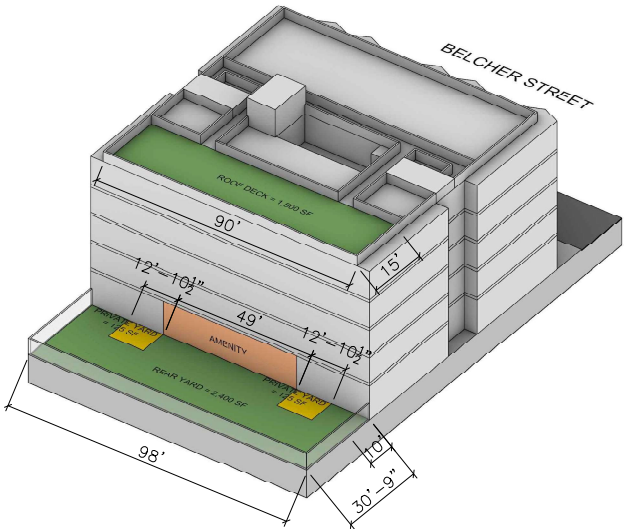
PROJECT OVERVIEW			A
	Data	Notes	
Address	67–69 Belcher Street		
APN	3537/074		
Lot Size (Sq. Ft.)	12,500	Conditional Use Authorization	
Lot Depth	125'		
Lot Width	100'		
Zoning	RTO & Market Octavia Plan		
Historic Resource	C– No Historic Resource Present		
Height Limit	40–X (SB35 waiver)	5 Story / 56' proposed	
Setbacks:			
Minimum Front	Average of adj. properties = 24.5"	10" proposed: Waiver sought	
Minimum Side	0		
Light well	Provided for air and / light		
Minimum Rear	45% zoned or 25% per adjacent	See block analysis: 25% proposed to match adj.	
Open Space:			
Group Required	133 per unit (29 units)	3,857 SF Required	
Group Provided	133 per unit (29 units)	3,900 SF Provided	
Private	125 per unit (2 units)	2 units provided; Approx 125 SF each	
Ground Floor Residential Allowed	YES	2 walk up units provided	
Density Criteria (Lot SF per Unit)	600		
Density Limit (# of Units): Base line	21	12,500 SF/600 = 21 units	
Incentive or Waiver	4	Height, Exposure, Rear Yard, Front Setback	
Unit Mix:			
# of 1 Bedroom Units	1		
# of 2 Bedroom Units	19	69% > min 40% for Zone	
# of 3 Bedroom Units	11		
Total # of Units	31	Average area 900 SF	
Gross Building Size (Sq. Ft.)	57,100		
Net Residential (Sq. Ft.)	35,240	87% percent efficiency per residential floor	
Parking	9,300	Below grade, 15 stalls . 40 Bikes stalls	
# of Stories	5 story / 56 ft	Additional height per density bonus	
# of Parking Spaces	15	0.5 Permitted / 0.75 with CU	

PROJECT GROSS AREA					B
Level	Construction Gross	Residential	MEPF, Circulation	Amenity	Parking
–1	12,500	0	2,800	400	9,300
1	8,600	4,000	1,900	2,700	0
2	9,000	7,810	1,090	100	0
3	9,000	7,810	1,090	100	0
4	9,000	7,810	1,090	100	0
5	9,000	7,810	1,090	100	0
Total	57,100	35,240	9,060	3,500	9,300

UNIT COUNT					C
Units	1 Bedroom	2 Bedroom	3 Bedroom	3 Bedroom	Total
Area (SF)	760	975	1,100	1,460	
Level					
1	0	4	0	0	4
2	1	6	1	0	8
3	0	5	0	2	7
4	0	2	0	4	6
5	0	2	0	4	6
Sub Total	1	19	1	10	
Total	1	19	11		31
Percentage	3%	61%	35%		100%

PARKING			D
Car Parking			
	Ratio	Stalls	
Permitted	0.50	15.5	
Permitted with CU	0.75	23.25	
Provided	0.48	15	
HC Stall Required	2%	1	
EVCS Stalls (GBC)	5%	1	
Future EVSE	25%	4	
Bike Parking			
	Ratio	Stalls	
Required Class 1	1.00	31	
Provided Class 1	1.29	40	
Required Class 2	0.05	2	
Provided Class 2	0.05	2	

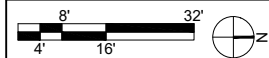
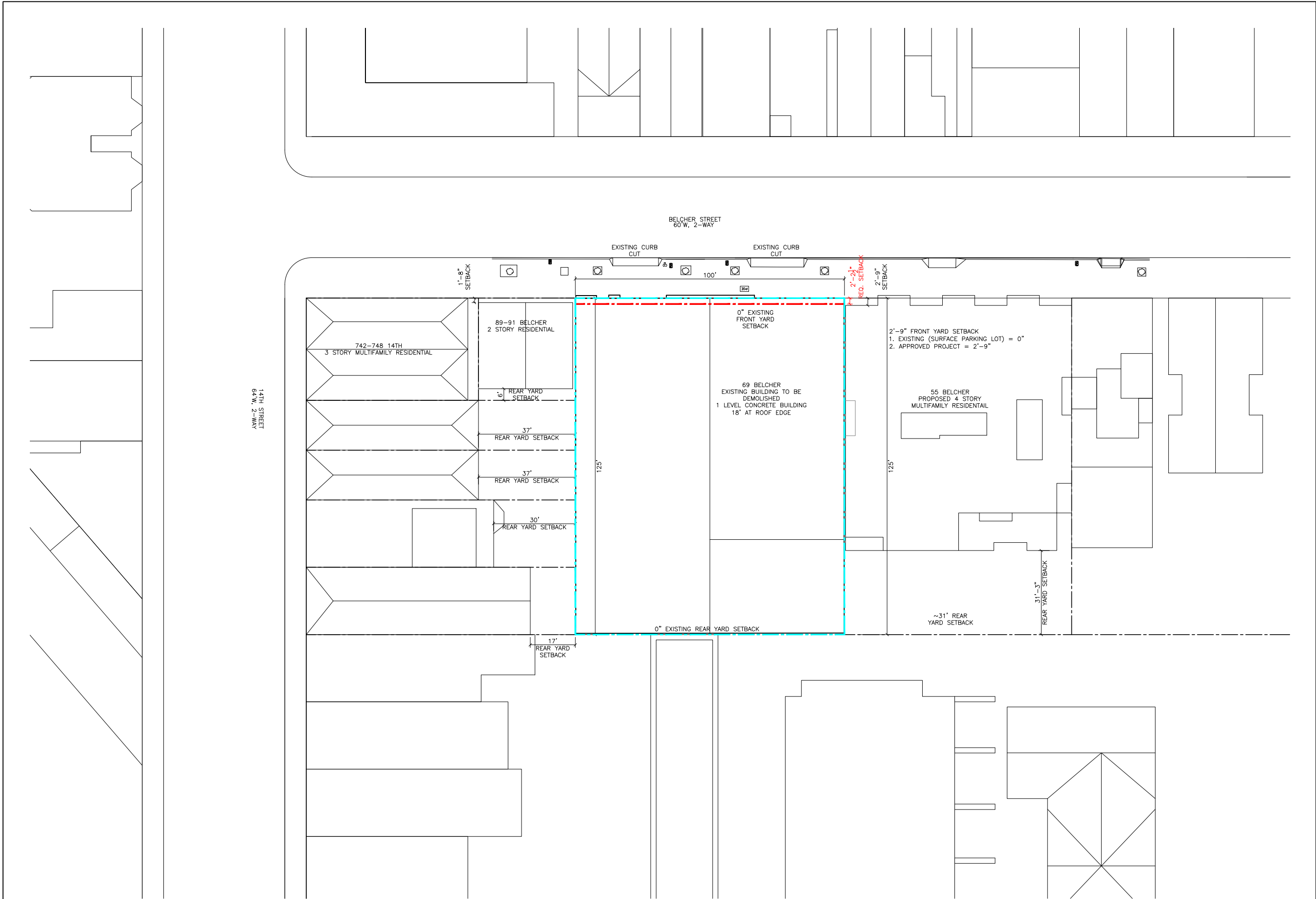
OUTDOOR SPACE			E
Required Outdoor Space			
	Ratio	Units	Area
Private	100	2	200
Common	133	29	3,857
Total			4,057
Provided Outdoor Space			
	Ratio	Units	Area
Private: 100 sf req, 250 sf provided	100	2	200
Common: Yard	133	NA	2,400
Common: Roof	133	NA	1,500
Total			4,100
NOTES:			



REVISIONS

DATE

OWNER: <b>67-69 BELCHER STREET LLC</b> 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: <b>STANLEY SAIOTOWITZ   NATOMA ARCHITECTS INC.</b> 1022 Natoma Street, No. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: <b>BKF ENGINEERS</b> 1446 N California Blvd, Suite 400 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: <b>CREO LANDSCAPE ARCHITECT</b> 535 Mission St., 14th Floor San Francisco, CA 94105 415. 688.2506	
STRUCTURAL ENGINEER: <b>IMEG CORP</b> 140 Pine Street, Suite 350 San Francisco, CA 94111 415-541-9477	
MEP ENGINEER: <b>ACIES ENGINEERING</b> 400 N.McCarthy Blvd., Suite 250 Milpitas, CA 95035 408-522-5255	
SURVEY: <b>WESTOVER SURVEYING</b> 336 Claremont Blvd., Ste 1 San Francisco, CA 94127 415. 242.5400	
GEOTECH: <b>ROLLO &amp; RIDLEY</b> 989 Sutter St., Unit 4 San Francisco, CA 94109 415. 670.9123	
FIRE FLOW: <b>MADDEN PLUMBING</b> 1228 Folsom St. Ste 101 San Francisco, CA 94103 415.923.8519	
SPACE RESERVED FOR DBI AGENCY USE :	
<div><div>REGISTERED ARCHITECT</div><div>WILLIAM B. KAYE</div><div>C 32745</div><div>Exp. 09/30/2023</div><div>STATE OF CALIFORNIA</div></div>	
67-69 BELCHER ST. SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: PROJECT DATA	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	NTS
DRAWN:	SSINAI © 2023 STANLEY SAIOTOWITZ   NATOMA ARCHITECTS INC.
SHEET NO: A0.1	



EXISTING SITE PLAN

1

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAIOTWITZ | NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1446 N California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
535 Mission St., 14th Floor  
San Francisco, CA 94105  
415. 688.2506

STRUCTURAL ENGINEER:  
**IMEG CORP**  
140 Pine Street, Suite 350  
San Francisco, CA 94111  
415-541-9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408-522-5255

SURVEY:  
**WESTOVER SURVEYING**  
336 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
415. 242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415. 670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St. Ste 101  
San Francisco, CA 94103  
415.723.8510

SPACE RESERVED FOR  
DBI AGENCY USE :



**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**EXISTING  
SITE PLAN**

SET: SF PLANNING

DATE: 02-27-2023

SCALE: 1/16"= 1'-0"

DRAWN: SSJNAI  
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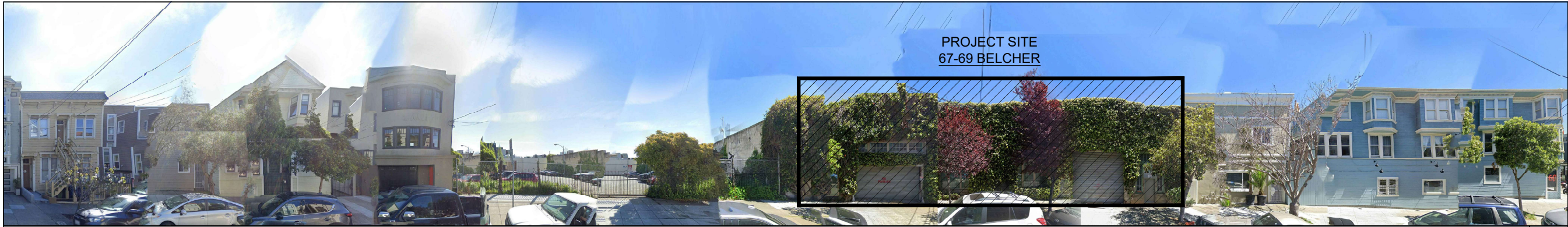
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**A0.2A**



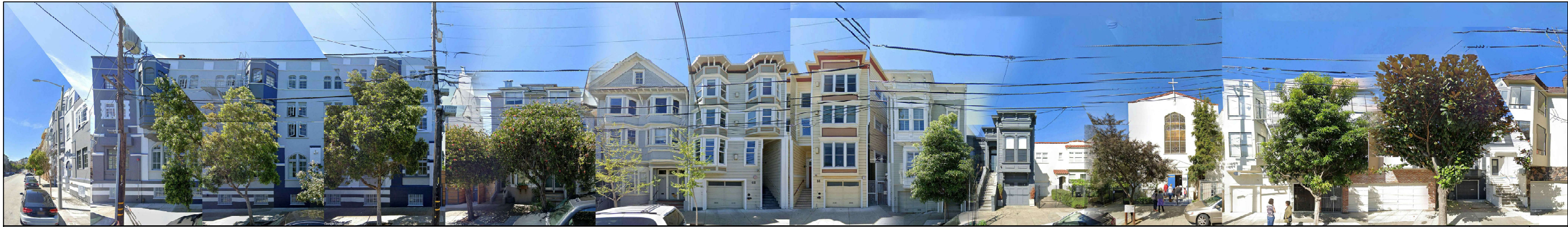






BELCHER STREET ELEVATION LOOKING EAST (TOWARD SITE)

3



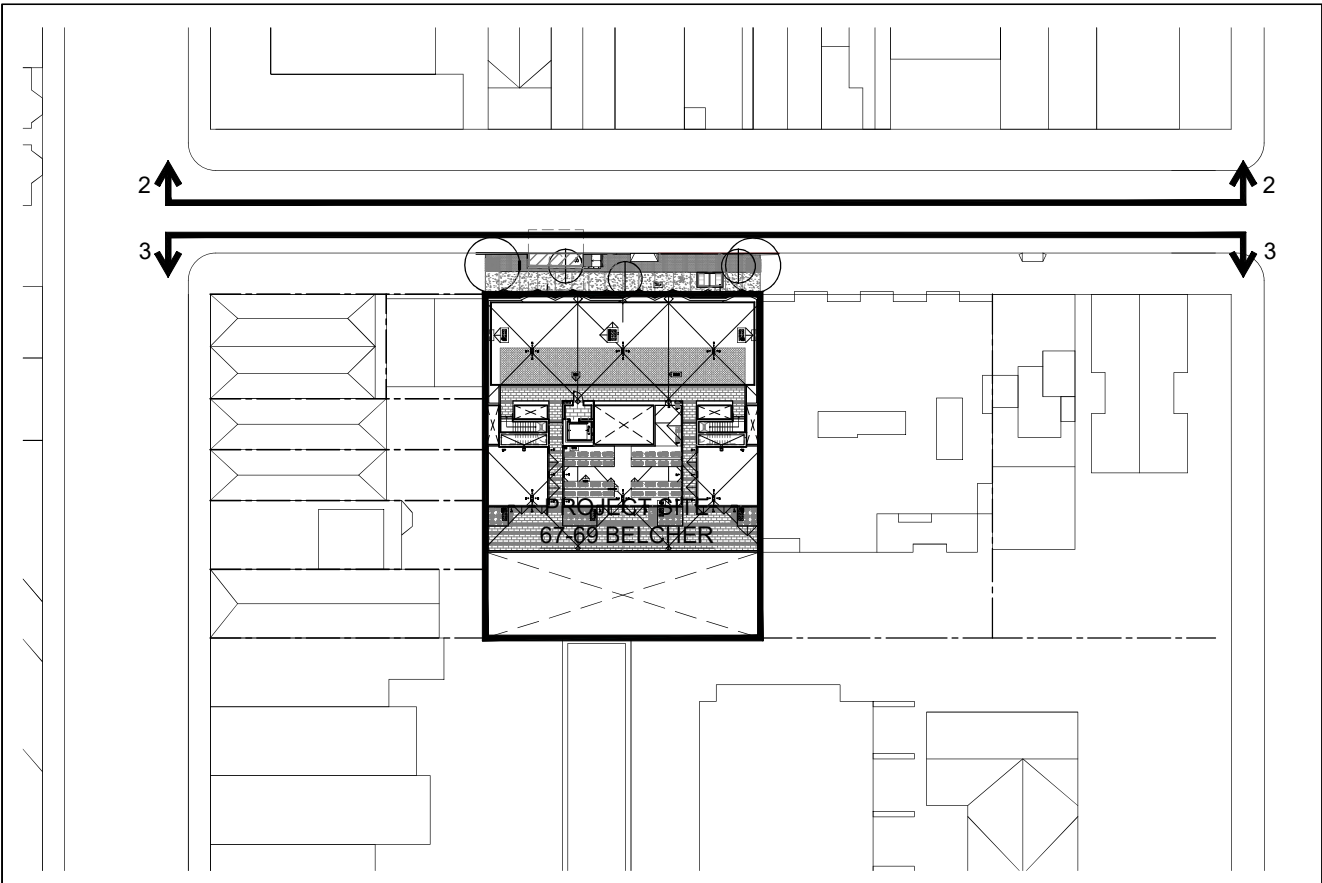
BELCHER STREET ELEVATION LOOKING WEST (OPPOSITE SITE)

2



REFERENCE CONTEXT IMAGES

4

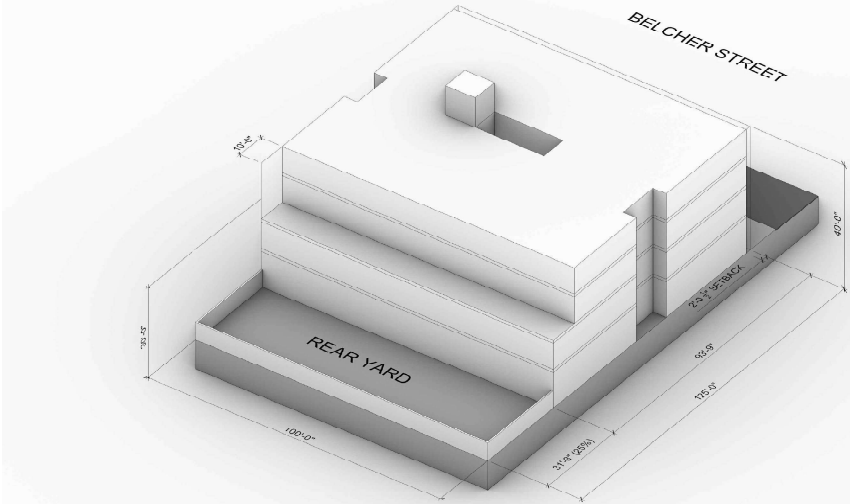


LOCATION MAP  
SCALE: 1/32" = 1'-0"

1

REVISIONS	DATE
OWNER: <b>67-69 BELCHER STREET LLC</b> 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: <b>STANLEY SAIOTOWITZ   NATOMA ARCHITECTS INC.</b> 1022 Natoma Street, No. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: <b>BKF ENGINEERS</b> 1446 N. California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: <b>CREO LANDSCAPE ARCHITECT</b> 535 Mission St., 14th Floor San Francisco, CA 94105 415.688.2506	
STRUCTURAL ENGINEER: <b>IMEG CORP</b> 160 Pine Street, Suite 350 San Francisco, CA 94111 415.541.9477	
MEP ENGINEER: <b>ACIES ENGINEERING</b> 400 N. McCarthy Blvd., Suite 250 Milpitas, CA 95035 408.522.5255	
SURVEY: <b>WESTOVER SURVEYING</b> 334 Claremont Blvd., Ste 1 San Francisco, CA 94127 415.242.5400	
GEOTECH: <b>ROLLO &amp; RIDLEY</b> 989 Sutter St., Unit 4 San Francisco, CA 94109 415.670.9123	
FIRE FLOW: <b>MADDEN PLUMBING</b> 1228 Folsom St., Ste 101 San Francisco, CA 94103 415.923.8519	
SPACE RESERVED FOR DBI AGENCY USE :	
<b>67-69 BELCHER ST.</b> SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: <b>CONTEXT</b>	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	AS NOTED
DRAWN:	SSINAI © 2023 STANLEY SAIOTOWITZ   NATOMA ARCHITECTS INC.
SHEET NO: <b>A0.3</b>	



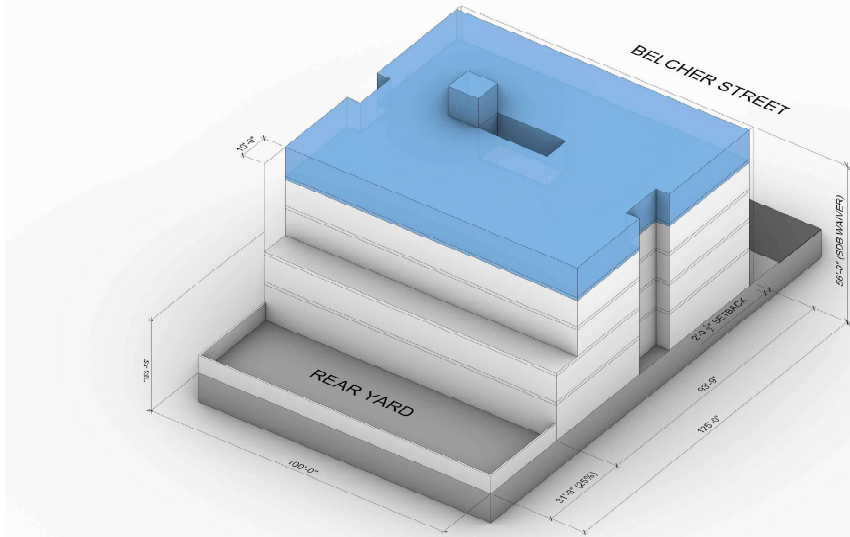


1. PROJECT BASELINE MASSING

GROUND FLOOR WITH AMENITY SPACES AND 4 RESIDENTIAL UNITS WITH 3 LEVELS OF RESIDENTIAL ABOVE. BASELINE BUILDING HEIGHT IS 40'. AT THE REAR BASELINE BUILDING RISES 30' PER SFPC 134 AND THEN STEPS BACK 10' FOR THE TOP RESIDENTIAL LEVEL. BASE DENSITY IS 21 RESIDENTIAL UNITS.

BASELINE MASSING

1

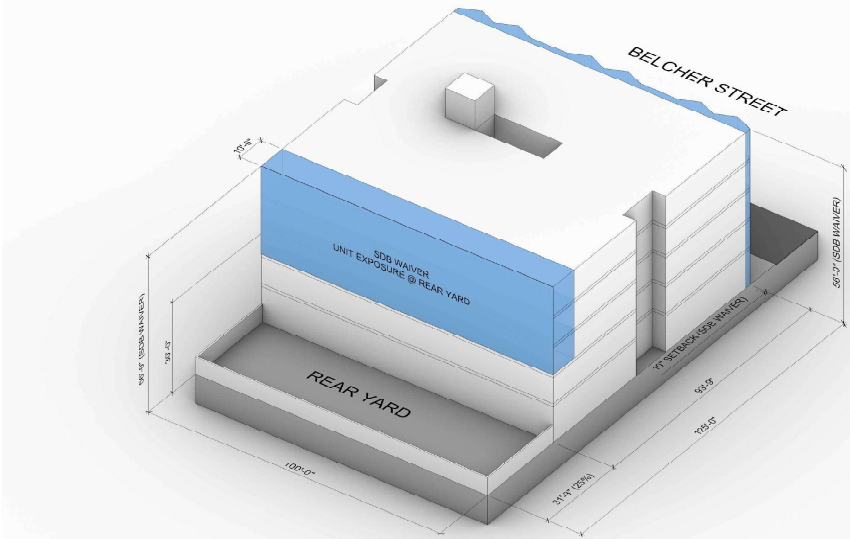


2. SDB WAIVER 1: HEIGHT

ADD ONE FULL STORY INCREASING BUILDING HEIGHT FROM 40' TO 56' (+16'). THE PROPOSED GROUND FLOOR HEIGHT (FLOOR TO FLOOR) IS 13'-2", THE REMAINING 42'-10" IS DISTRIBUTED EVENLY BETWEEN THE UPPER 4 RESIDENTIAL STORIES (10'-6" FLOOR TO FLOOR HEIGHT)

HEIGHT WAIVER

2

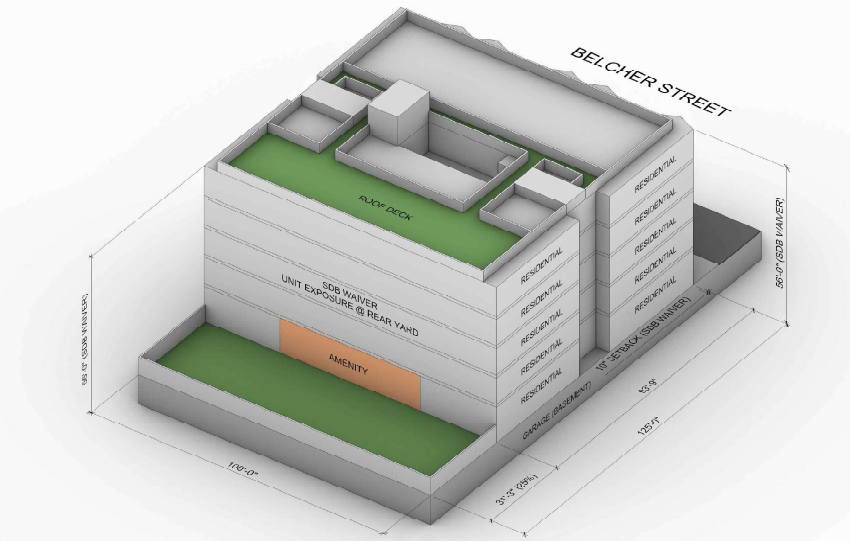


3. SDB WAIVERS 2 & 3: REAR YARD MODIFICATION & FRONT SETBACK WAIVER

A WAIVER IS BEING PURSUED FOR UNITS ON LEVELS 4, AND 5 WHICH ARE IMPACTED BY SFPC SEC. 134 GENERAL RULE BECAUSE THEY ARE ABOVE THE 30' THRESHOLD. A WAIVER IS ALSO BE SOUGHT TO ADJUST THE REQUIRED FRONT SETBACK.

REAR YARD & FRONT SETBACK WAIVER

3



4. FINAL MASSING

GROUND FLOOR WITH AMENITY SPACES AND 4 RESIDENTIAL UNITS WITH 4 LEVELS OF RESIDENTIAL PROGRAM ABOVE. FINAL HEIGHT OF THE PROPOSED BUILDING IS 56'-0". FINAL BONUS DENSITY IS 31 UNITS = [21 UNITS]+[(21 UNITS)x(50%)].

FINAL MASSING

4

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAIOTOWITZ | NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1446 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
535 Mission St., 14th Floor  
San Francisco, CA 94105  
415.688.2506

STRUCTURAL ENGINEER:  
**IMEG CORP**  
160 Pine Street, Suite 350  
San Francisco, CA 94111  
415.541.9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408-522-5255

SURVEY:  
**WESTOVER SURVEYING**  
334 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
415.242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415.670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
San Francisco, CA 94103  
415.723.8519

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DBI AGENCY USE :



**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**SDB  
DIAGRAMS**

SET: SF PLANNING

DATE: 02-27-2023

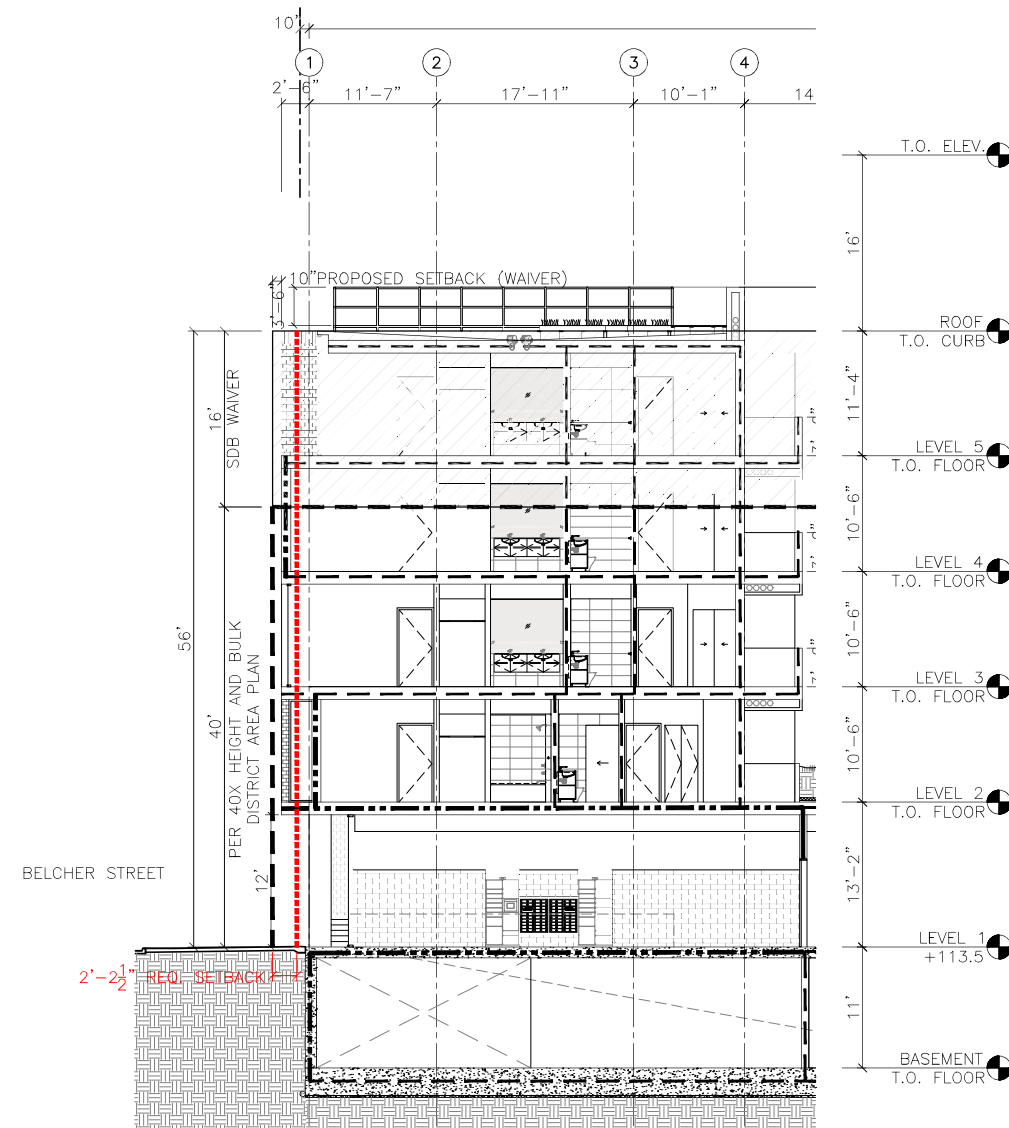
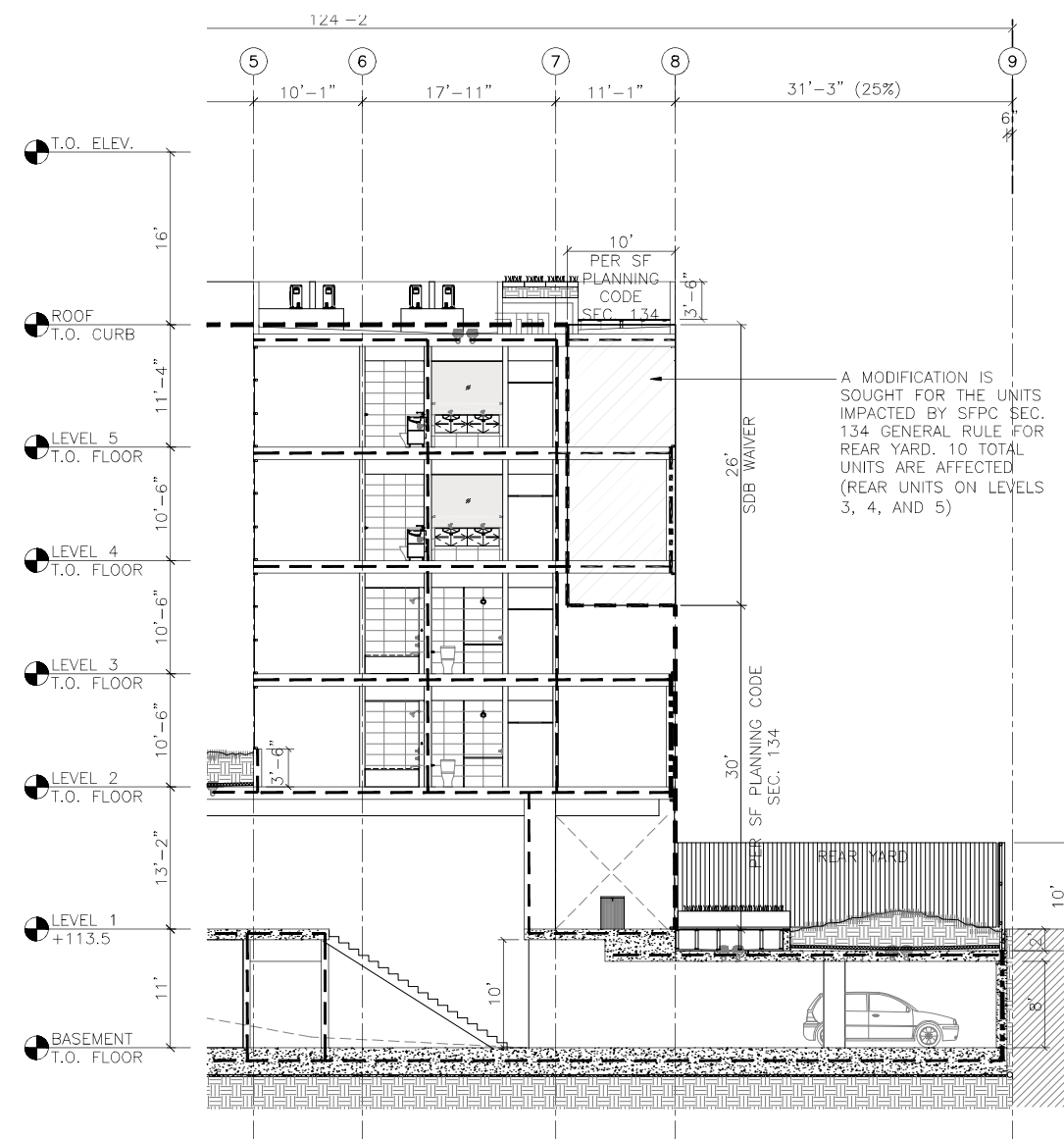
SCALE: 1/8"=1'-0"

DRAWN: SSJNAI  
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SHEET NO:

**A0.4A**





REVISIONS	DATE

OWNER:  
**7-69 BELCHER STREET LLC**  
3055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**TANLEY SAITOWITZ |**  
**NATOMA ARCHITECTS INC.**  
222 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

**CIVIL ENGINEER:**  
**KF ENGINEERS**  
546 N California Blvd, Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
35 Mission St., 14th Floor  
San Francisco, CA 94105  
Tel: 415.688.2506

STRUCTURAL ENGINEER:  
**MEG CORP**  
30 Pine Street, Suite 350  
San Francisco, CA 94111  
415-541-9477

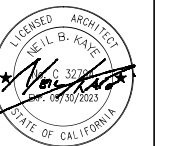
MEP ENGINEER:  
**ACIES ENGINEERING**  
100 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408-522-5255

**WESTOVER SURVEYING**  
36 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
15. 242.5400

TECH:  
**OLLO & RIDLEY**  
89 Sutter St., Unit 4  
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15. 670.9123

IRE FLOW:  
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228 Folsom St, Ste 101  
San Francisco, CA 94103  
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FBI AGENCY USE :



7-69 BELCHER ST.  
SAN FRANCISCO, CA 94114  
OBI 2022-1216-8581

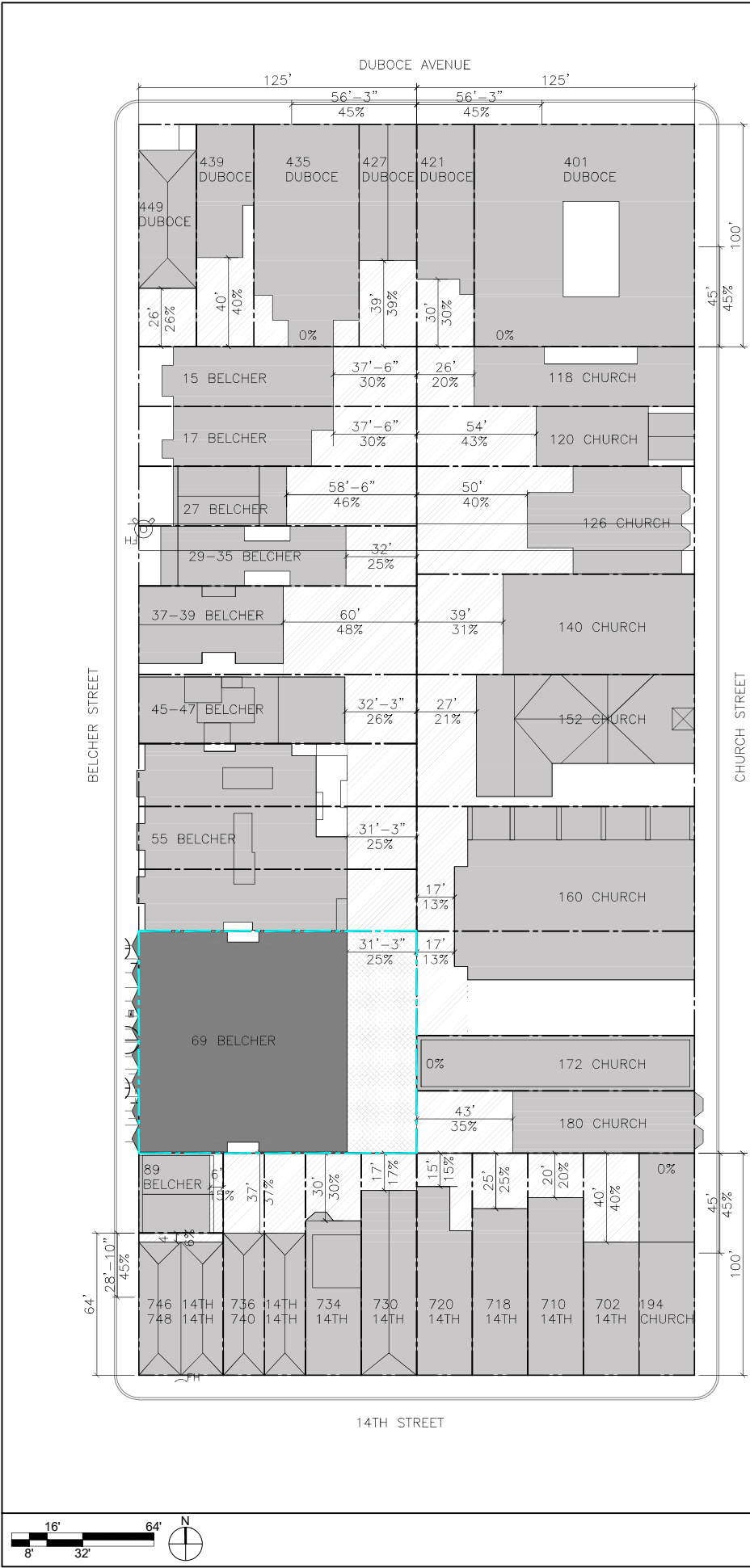
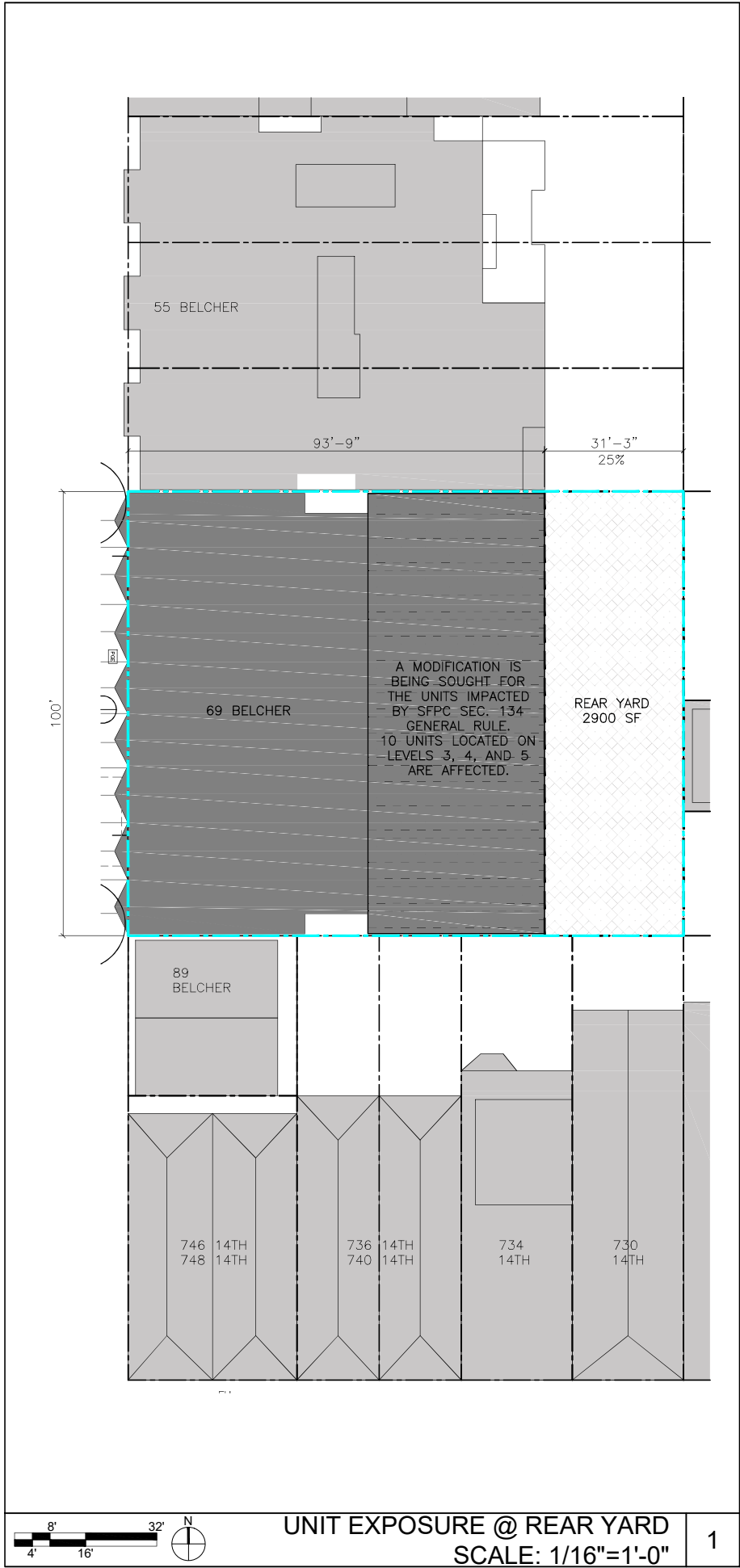
SHEET TITLE:

**DIAGRAMS**

SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	1/8"=1'-0"
DRAWN:	SSJ/NAI © COPYRIGHT STANLEY SAKOINIZ I NATOKIA ARCHITECTS INC.

SHEET NO:

A0.4B

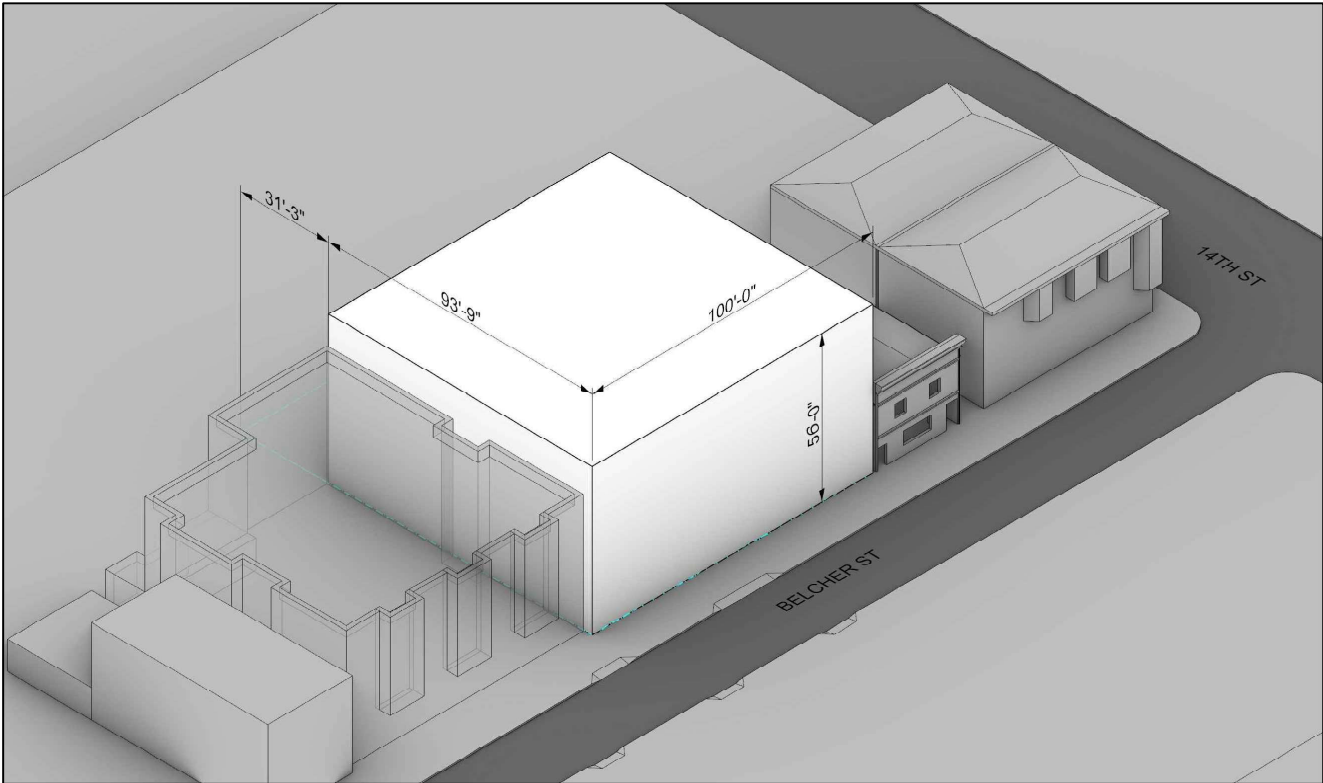


LEGEND

- BLOCK REAR YARDS (AVG. 25% SETBACK)
- SUBJECT PROPERTY REAR YARD (PROPOSED 25% SETBACK TO MATCH BLOCK AVG.)
- CONTEXT BUILDING FOOTPRINT
- PROPOSED BUILDING FOOTPRINT

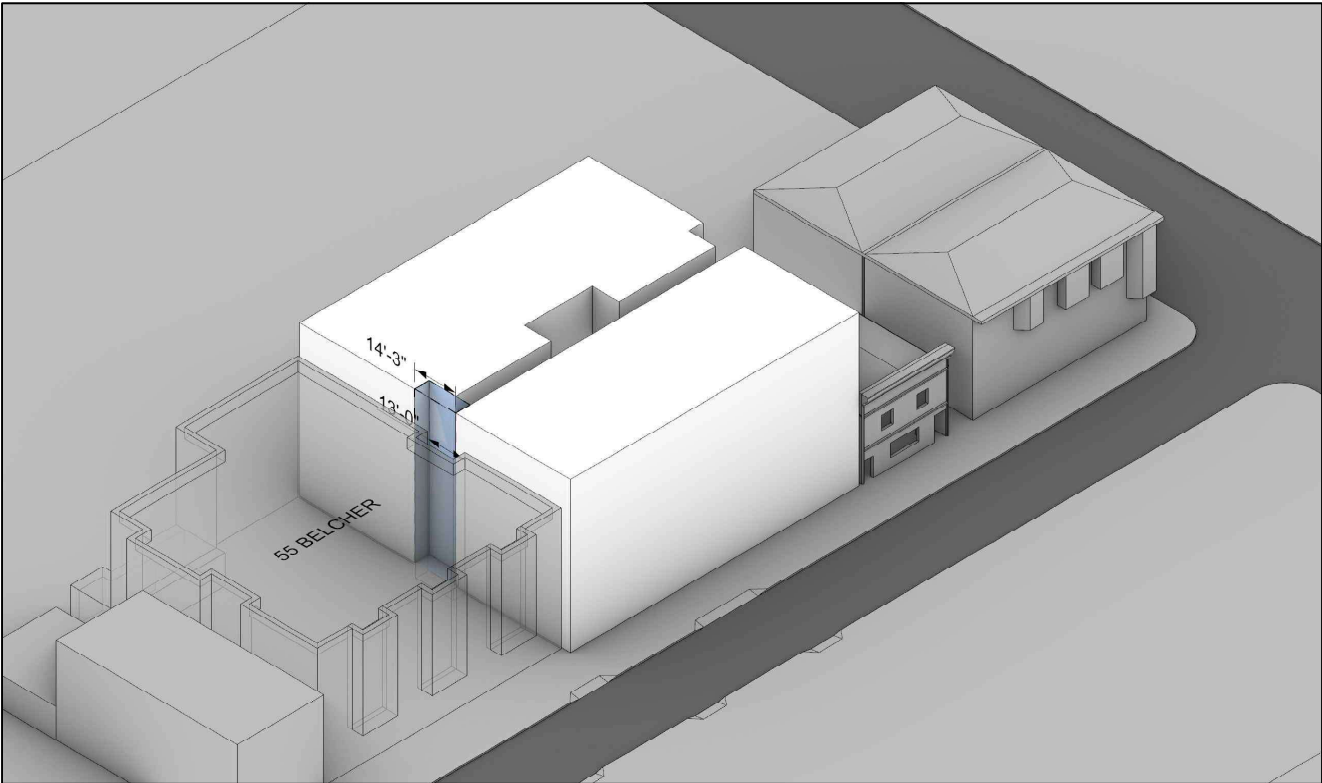
Rear Yard Calcs	
Property Address	Rear Yard (%)
401 Duboce	0
421 Duboce	30
427 Duboce	39
435 Duboce	0
439 Duboce	40
449 Duboce	26
15 Belcher	30
17 Belcher	30
27 Belcher	46
29-35 Belcher	25
37-39 Belcher	48
45-47 Belcher	26
55 Belcher	25
89 Belcher	15
702 14th	40
710 14th	20
718 14th	25
720 14th	15
730 14th	17
734 14th	30
736-740 14th	37
746-748 14th	6
118 Church	20
120 Church	43
126 Church	40
140 Church	31
152 Church	21
160 Church	13
172 Church	0
180 Church	35
194 Church	0
Average % =	24.94

REVISIONS	DATE
OWNER: <b>67-69 BELCHER STREET LLC</b> 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: <b>STANLEY SAIOTWITZ   NATOMA ARCHITECTS INC.</b> 1022 Natoma Street, No. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: <b>BKF ENGINEERS</b> 1446 N. California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: <b>CREO LANDSCAPE ARCHITECT</b> 535 Mission St., 14th Floor San Francisco, CA 94105 415.688.2506	
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SURVEY: <b>WESTOVER SURVEYING</b> 336 Claremont Blvd., Ste 1 San Francisco, CA 94127 415.242.5400	
GEOTECH: <b>ROLLO &amp; RIDLEY</b> 989 Sutter St., Unit 4 San Francisco, CA 94109 415.670.9123	
FIRE FLOW: <b>MADDEN PLUMBING</b> 1228 Folsom St., Ste 101 San Francisco, CA 94103 415.723.8519	
SPACE RESERVED FOR DBI AGENCY USE :	
<b>67-69 BELCHER ST.</b> SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: <b>DIAGRAMS</b>	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	AS NOTED
DRAWN:	SSINAI © 2023 STANLEY SAIOTWITZ   NATOMA ARCHITECTS INC.
SHEET NO:	<b>A0.4C</b>



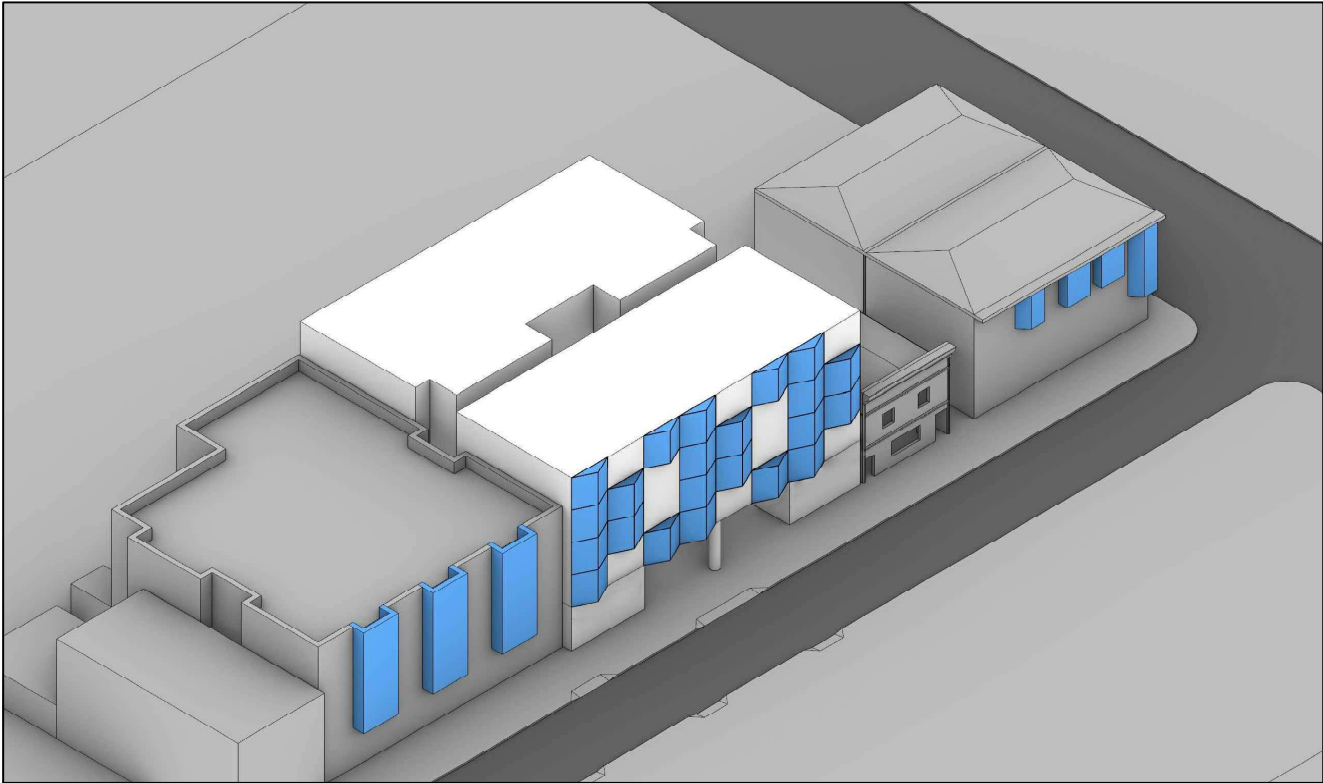
1. PROJECT MASSING
- 1.1. PROPOSED HEIGHT: 56' (EXCEPTION SOUGHT FOR DENSITY BONUS)
- 1.2. PROPOSED REAR SETBACK: 31'-3" / 125" = 25% (MATCHES ADJACENT DEVELOPMENT AT 55 BELCHER).

MASSING 1



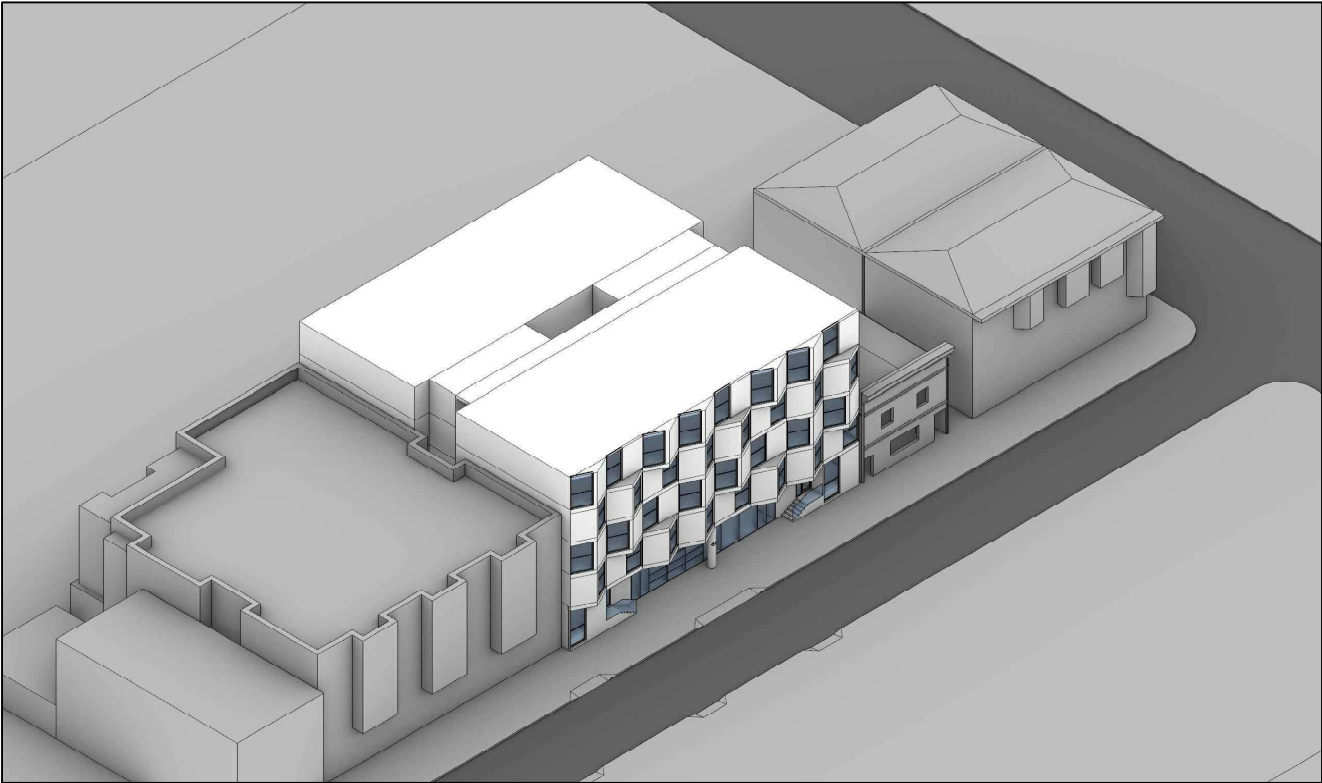
2. LIGHTWELL
- 2.1. PROPOSED LIGHTWELL AT SIDE WILL MATCH >75% OF ADJACENT 55 BELCHER, PROVIDING SHARED ACCESS TO LIGHT AND AIR FOR BOTH PROPERTIES.

LIGHTWELL 2



3. PROJECTED BAY WINDOWS
- EACH BAY WINDOW IS 12.5' WIDE X 3' DEEP. PROPORTIONALLY SIMILAR TO THE PROEJCTED BAY WINDOWS AT NEIGHBORING BUILDINGS.
- STAGGERED PATTERN CREATES VISUAL INTEREST TO THE FACADE WHILE MAINTAINING SAME CADENCE AND RHYTHM TO EXISTING URBAN FABRIC.

BAY WINDOWS 3



4. PRIVACY AND VIEWS
- WINDOWS ANGLED FOR VIEWS AND PRIVACY

PRIVACY AND VIEWS 4

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAIOTOWITZ | NATOMA ARCHITECTS INC.**  
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Milpitas, CA 95035  
408-522-5255

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GEOTECH:  
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FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
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415.923.8519

SPACE RESERVED FOR  
DBI AGENCY USE :



**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**DESIGN INTENT**

SET: SF PLANNING

DATE: 02-27-2023

SCALE: NTS

DRAWN: SSINAI  
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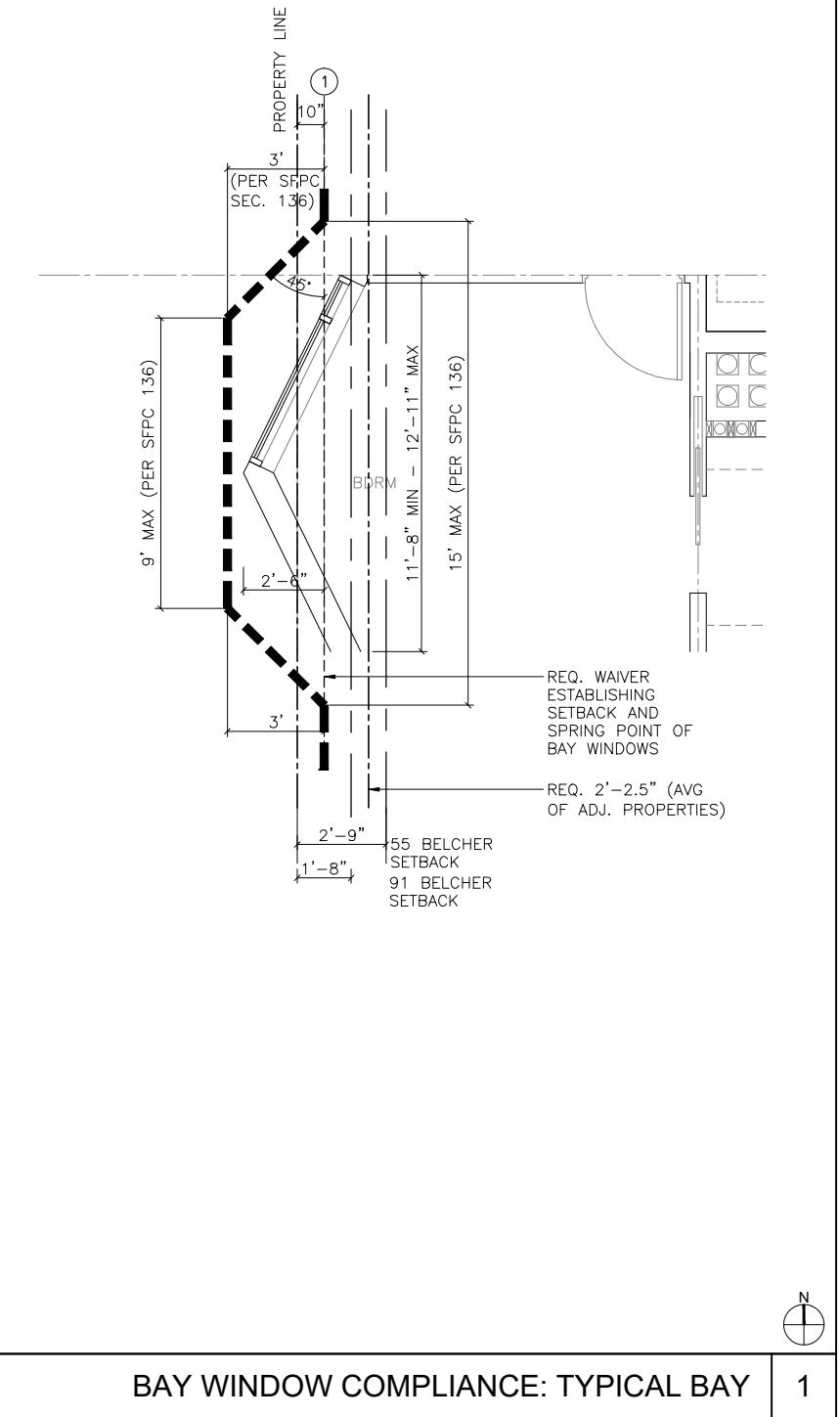
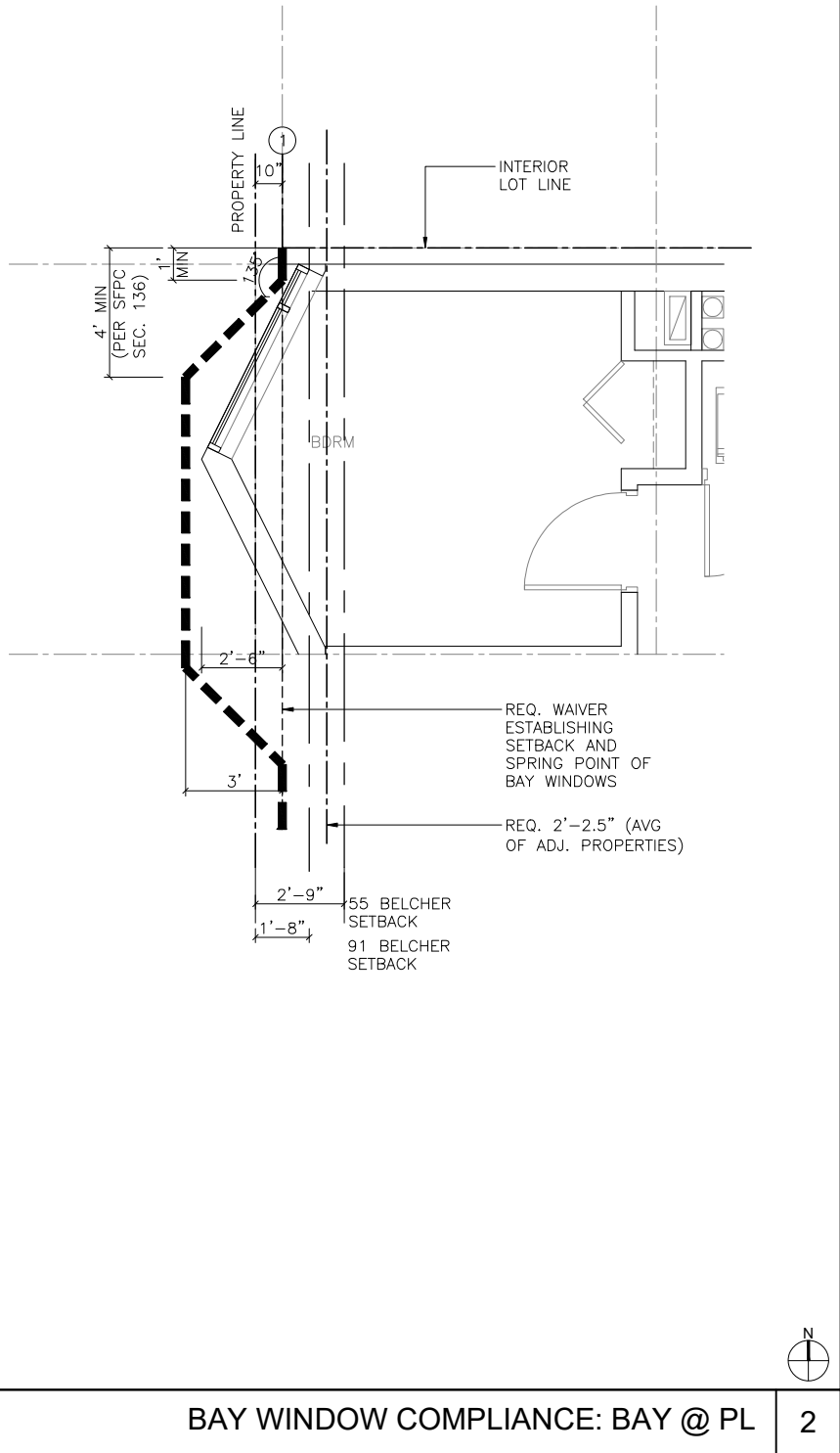
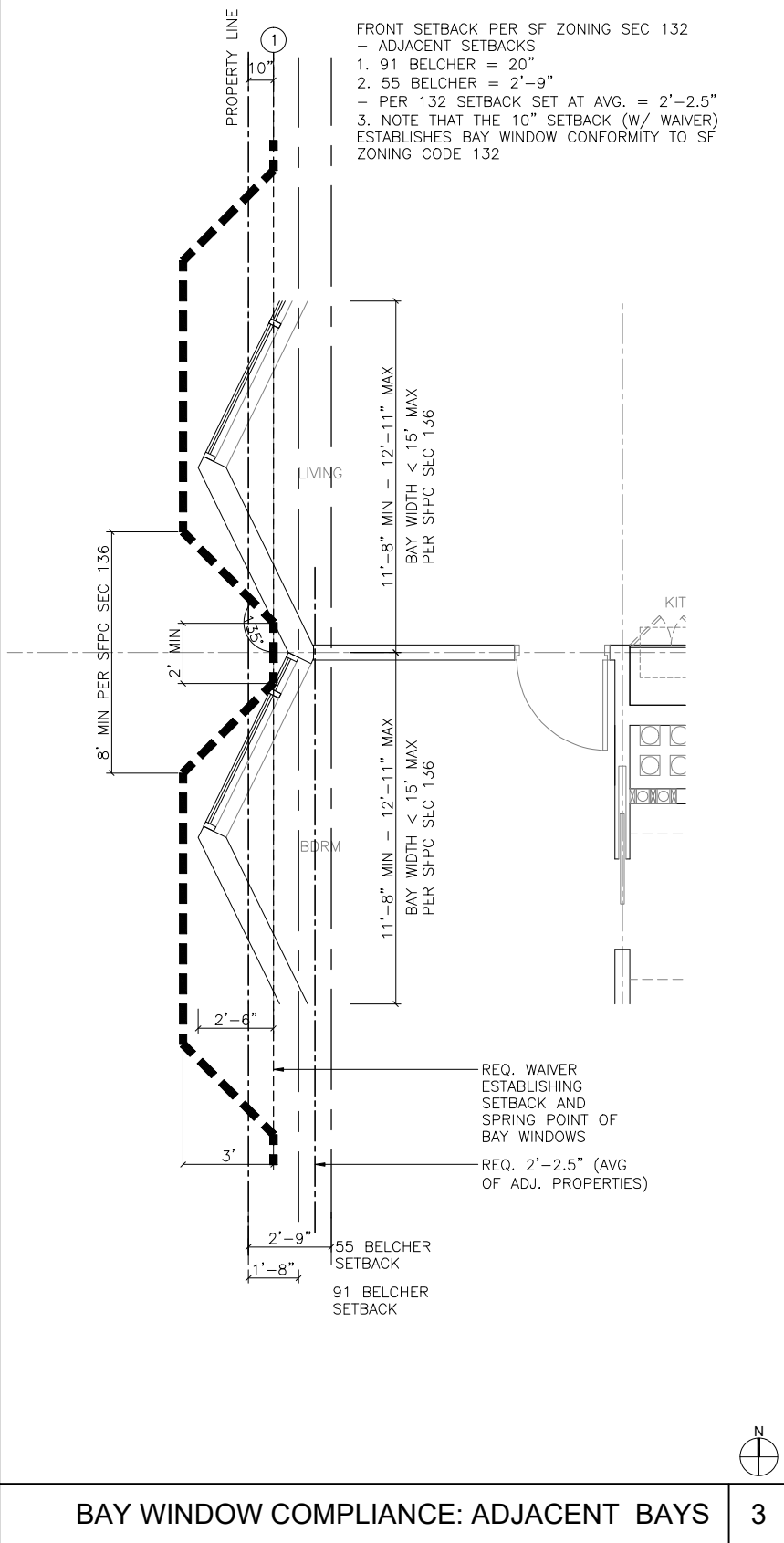
SHEET NO:

**A0.5A**









REVISIONS	DATE
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GEOTECH: <b>ROLLO &amp; RIDLEY</b> 989 Sutter St., Unit 4 San Francisco, CA 94109 415. 670.9123	
FIRE FLOW: <b>MADDEN PLUMBING</b> 1228 Folsom St. Ste 101 San Francisco, CA 94103 415.723.8519	
SPACE RESERVED FOR DBI AGENCY USE :	
<b>67-69 BELCHER ST.</b> SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: <b>DESIGN INTENT</b>	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	3/8"=1'-0"
DRAWN:	SSJ/NAI © 2023 STANLEY SAIOTOWITZ   NATOMA ARCHITECTS INC.
SHEET NO: <b>A0.5C</b>	

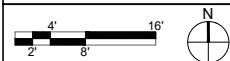
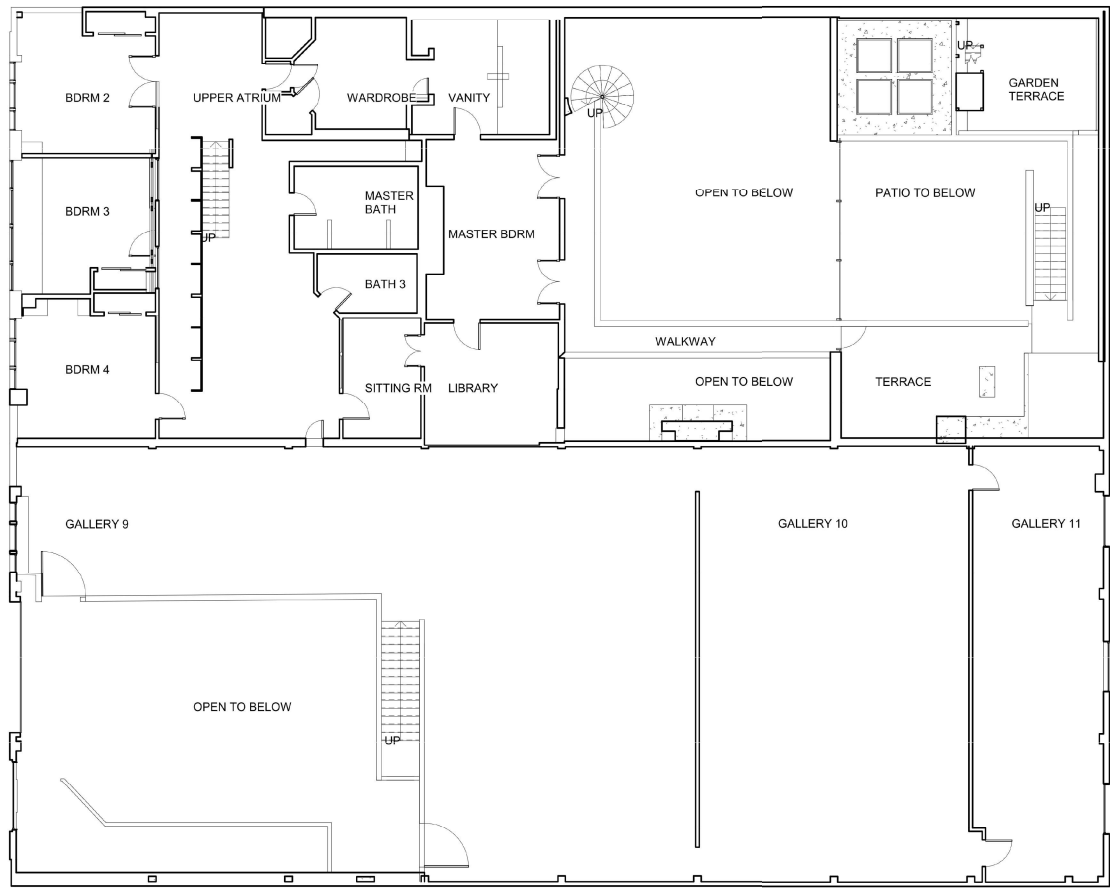




RENDERING 1

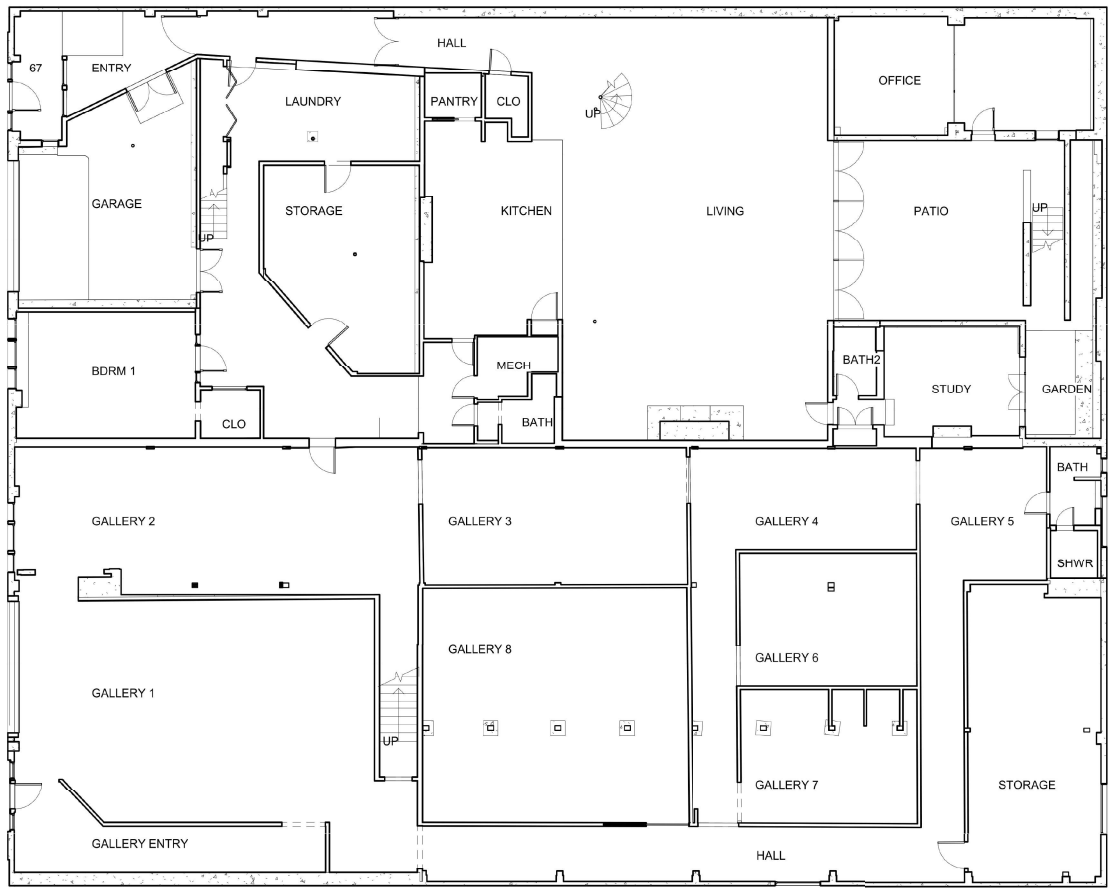
REVISIONS	DATE
OWNER: <b>67-69 BELCHER STREET LLC</b> 1055 Ashbury Street San Francisco, CA 94117	
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GEOTECH: <b>ROLLO &amp; RIDLEY</b> 989 Sutter St., Unit 4 San Francisco, CA 94109 415. 670.9123	
FIRE FLOW: <b>MADDEN PLUMBING</b> 1228 Folsom St. Ste 101 San Francisco, CA 94103 415.923.8519	
SPACE RESERVED FOR DBI AGENCY USE :	
<b>67-69 BELCHER ST.</b> SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: <b>RENDERING</b>	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	N.T.S.
DRAWN:	SSJNAI <small>© 2023 STANLEY SAITOWITZ   NATOMA ARCHITECTS INC.</small>
SHEET NO:	
<b>A0.6</b>	





EXISTING SECOND LEVEL PLAN

2



EXISTING ENTRY LEVEL PLAN

1

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAIOTOWITZ | NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
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925.940.2200

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MEP ENGINEER:  
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GEOTECH:  
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415.723.8519

SPACE RESERVED FOR  
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**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**EXISTING  
BLDG PLAN**

SET: **SF PLANNING**

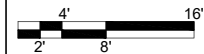
DATE: **02-27-2023**

SCALE: **1"=10'**

DRAWN: **SSINAI**  
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SHEET NO:  
**A0.7A**





EXISTING ELEVATION

1

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAITOWITZ |  
NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1446 N California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
535 Mission St., 14th Floor  
San Francisco, CA 94105  
415. 688.2506

STRUCTURAL ENGINEER:  
**IMÉG CORP**  
160 Pine Street, Suite 350  
San Francisco, CA 94111  
415-541-9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408-522-5255

SURVEY:  
**WESTOVER SURVEYING**  
336 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
415. 242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415. 670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St. Ste 101  
San Francisco, CA 94103  
415.923.8519

SPACE RESERVED FOR  
DBI AGENCY USE :



**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**EXISTING  
ELEVATION**

SET: **SF PLANNING**

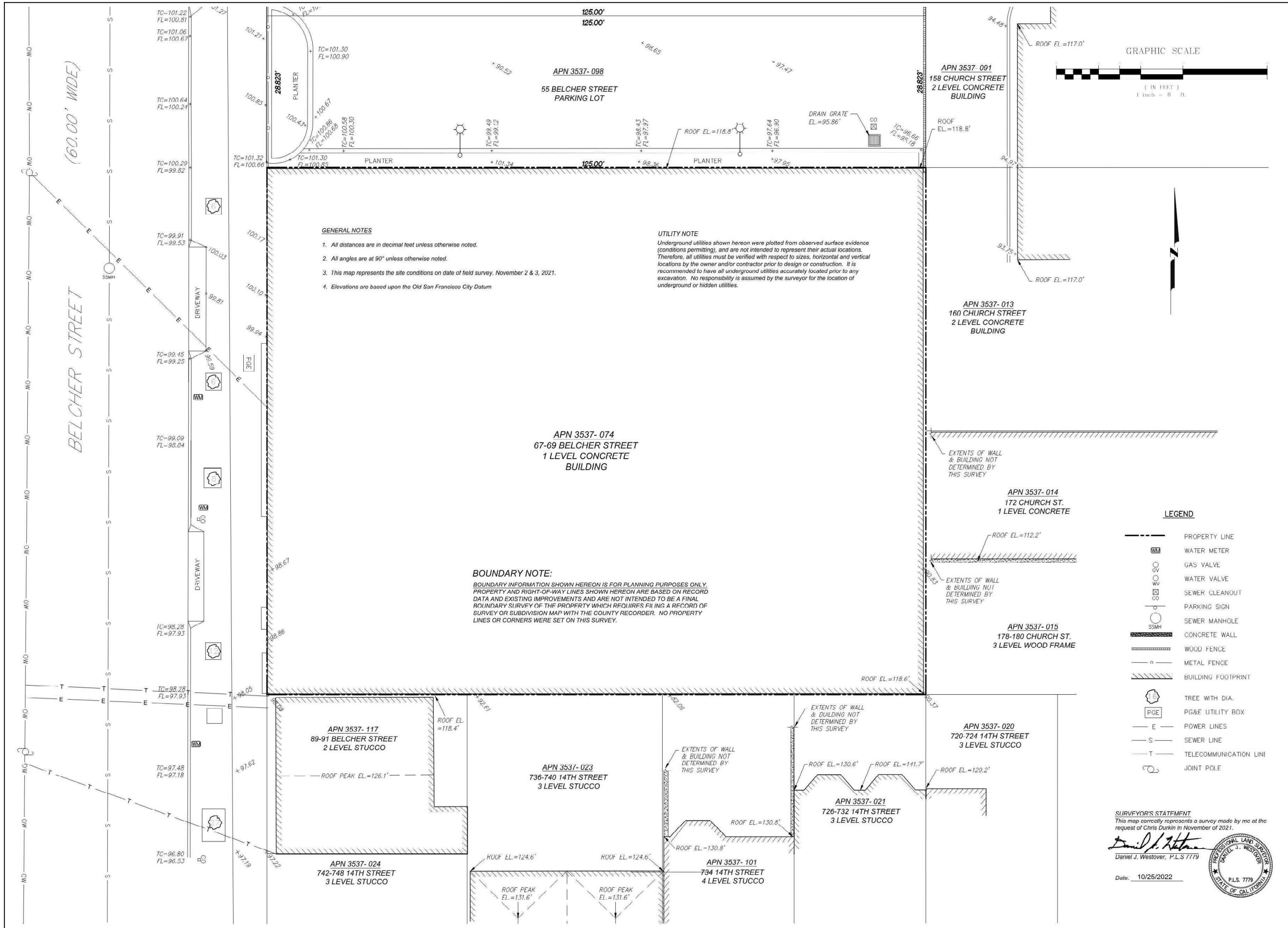
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SCALE: **1/8"=1'-0"**

DRAWN: **SS|NAI**  
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NATOMA ARCHITECTS INC.

SHEET NO:

**A0.7B**



REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAIOTOWITZ | NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1440 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
535 Mission St., 14th Floor  
San Francisco, CA 94105  
415.688.2506

STRUCTURAL ENGINEER:  
**IMEG CORP**  
140 Pine Street, Suite 350  
San Francisco, CA 94111  
415.541.9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408.522.5255

SURVEY:  
**WESTOVER SURVEYING**  
334 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
415.242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415.670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
San Francisco, CA 94103  
415.723.8519

SPACE RESERVED FOR  
DBI AGENCY USE :



**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**SITE SURVEY**

SET: SF PLANNING

DATE: 02-27-2023

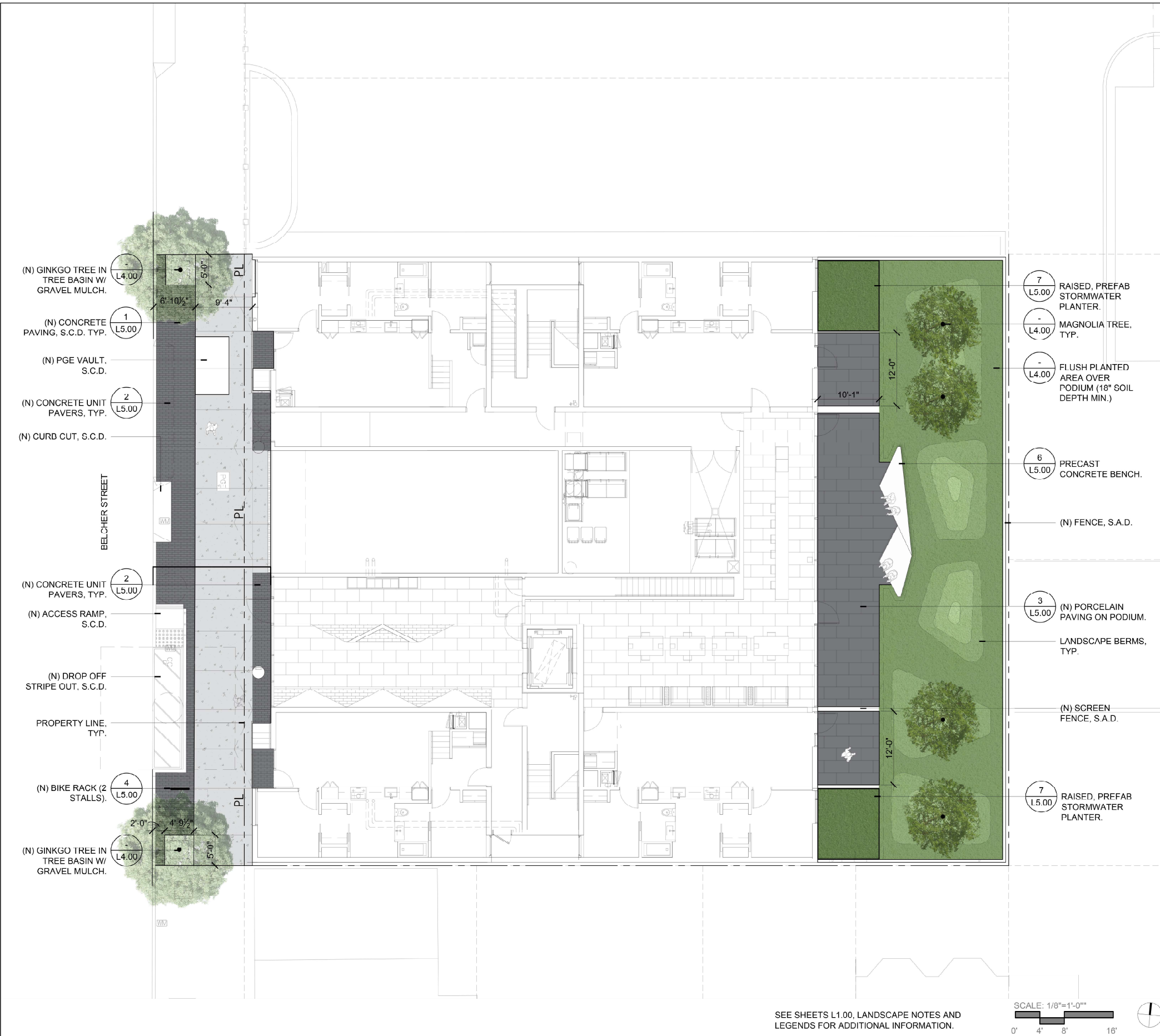
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DRAWN: SSJ/NAI

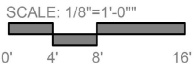
SHEET NO:

**SU-1**





SEE SHEETS L1.00, LANDSCAPE NOTES AND LEGENDS FOR ADDITIONAL INFORMATION.



GROUND FLOOR PLANTING



AGAVE ATTENUATA



ASPARAGUS DENSIFLORUS 'MYERLI'



BOUTELOUA GRACILIS



IRIS DOUGLASIANA



LEYMUS 'CANYON PRINCE'



MUHLENBERGIA DUBIA



POLYSTICHUM MUNITUM



RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'

STORMWATER PLANTING



ACHILLEA MILLEFOLIUM



CAREX DIVULSA



CHONDROPETALUM TECTORUM



SISYRINCHUM BELLUM

TREES



GINKGO BILOBA 'PRINCETON SENTRY'



MAGNOLIA SOULANGEANA

REVISIONS	DATE
OWNER: <b>67-69 BELCHER STREET LLC</b> 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: <b>STANLEY SAIKOWITZ   NATOMA ARCHITECTS INC.</b> 1022 Natomas Street, Nio, 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: <b>BKF ENGINEERS</b> 1444 K Street, Suite 100 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: <b>CREO LANDSCAPE ARCHITECTURE</b> 415.488.2504 www.creolandscap.com	
STRUCTURAL ENGINEER: <b>IMEG CORP</b> 160 Pine Street, Suite 350 San Francisco, CA 94111 415.541.9477	
MEP ENGINEER: <b>ACIES ENGINEERING</b> 400 Montgomery Blvd., Suite 250 Milpitas, CA 95035 408.522.5255	
SURVEY: <b>WESTOVER SURVEYING</b> 558 Clarendon Blvd., Ste 1 San Francisco, CA 94127 415.242.5400	
GEOTECH: <b>ROLLO &amp; RIDLEY</b> 989 Sutter St., Unit 4 San Francisco, CA 94109 415.670.1123	
FIRE FLOW: <b>MADDEN PLUMBING</b> 1228 Holcom St., Ste 101 San Francisco, CA 94103 415.923.8510	
SPACE RESERVED FOR DBI AGENCY USE :	
<b>67-69 BELCHER ST.</b> SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: LANDSCAPE MATERIALS PLAN GROUND FLOOR	
SET:	PLANNING APPLICATION
DATE:	02/28/2023
SCALE:	AS SHOWN
DRAWN:	CREO
SHEET NO: <b>L2.00</b>	

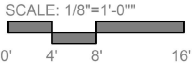




ROOF PLANTING



SEE SHEETS L1.00, LANDSCAPE NOTES AND LEGENDS FOR ADDITIONAL INFORMATION.

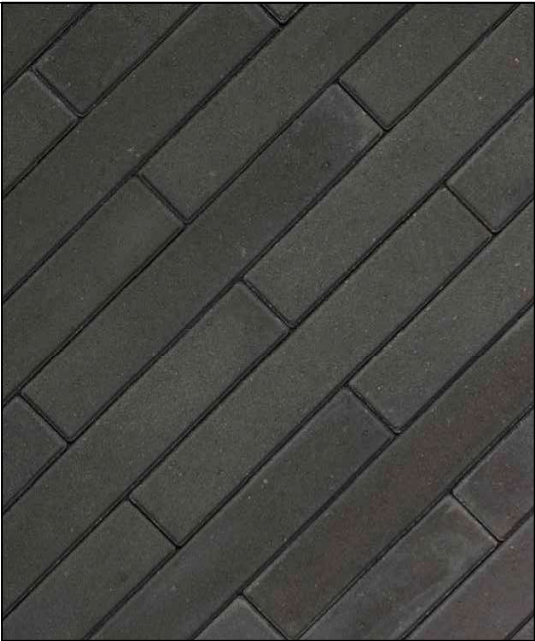


REVISIONS	DATE
OWNER: 67-69 BELCHER STREET LLC 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: STANLEY SAIKOWITZ   NATOMA ARCHITECTS INC. 1022 Natomas Street, Ste. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: BKF ENGINEERS 1444 K Street, Suite 100 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: CREO LANDSCAPE ARCHITECTURE 415.488.2504 www.creolandarch.com	
STRUCTURAL ENGINEER: IMEG CORP 160 Pine Street, Suite 350 San Francisco, CA 94111 415.541.9477	
MEP ENGINEER: ACIES ENGINEERING 400 Montgomery Blvd., Suite 250 Milpitas, CA 95035 408.522.5255	
SURVEY: WESTOVER SURVEYING 558 Clarendon Blvd., Ste 1 San Francisco, CA 94127 415.242.5400	
GEOTECH: ROLLO & RIDLEY 909 Sutter St., Unit 4 San Francisco, CA 94109 415.670.1123	
FIRE FLOW: MADDEN PLUMBING 1228 Holcom St., Ste 101 San Francisco, CA 94103 415.923.8510	
SPACE RESERVED FOR DBI AGENCY USE :	
67-69 BELCHER ST. SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: LANDSCAPE MATERIALS PLAN ROOF DECK	
SET:	PLANNING APPLICATION
DATE:	02/28/2023
SCALE:	AS SHOWN
DRAWN:	CREO
SHEET NO: L2.02	





1. CONCRETE PAVING (CITY SIDEWALK)



2. CONCRETE UNIT PAVER ON SAND SETTING BED (FURNISHING ZONE)



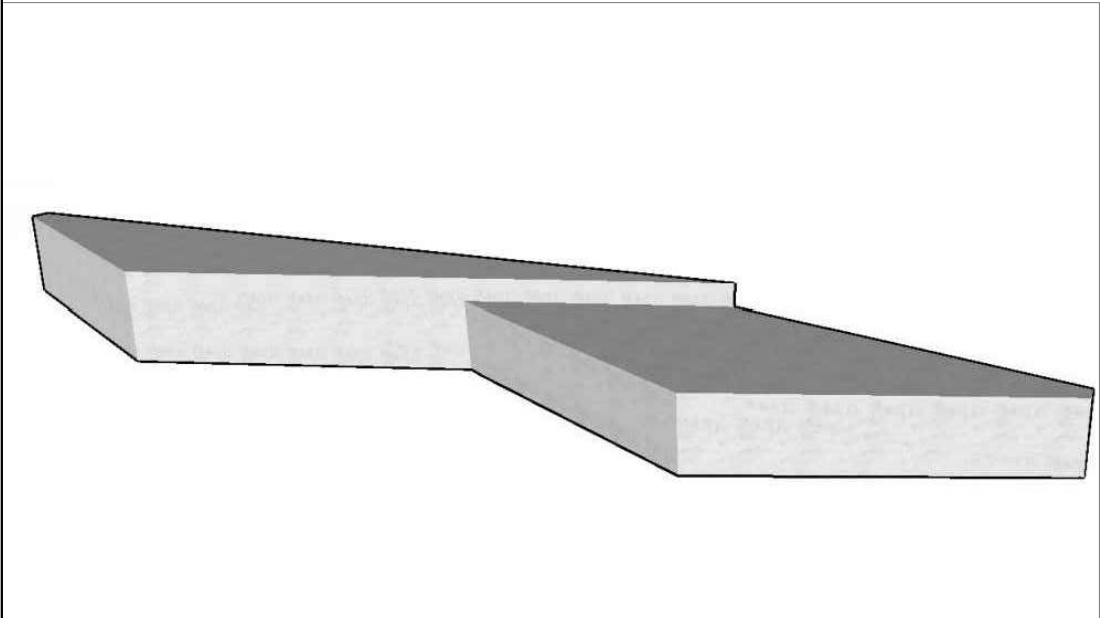
3. PORCELAIN TILE PAVING ON PODIUM (MATCH INTERIOR TILE)



4. CITY STANDARD BIKE RACK



5. GRAVEL MULCH



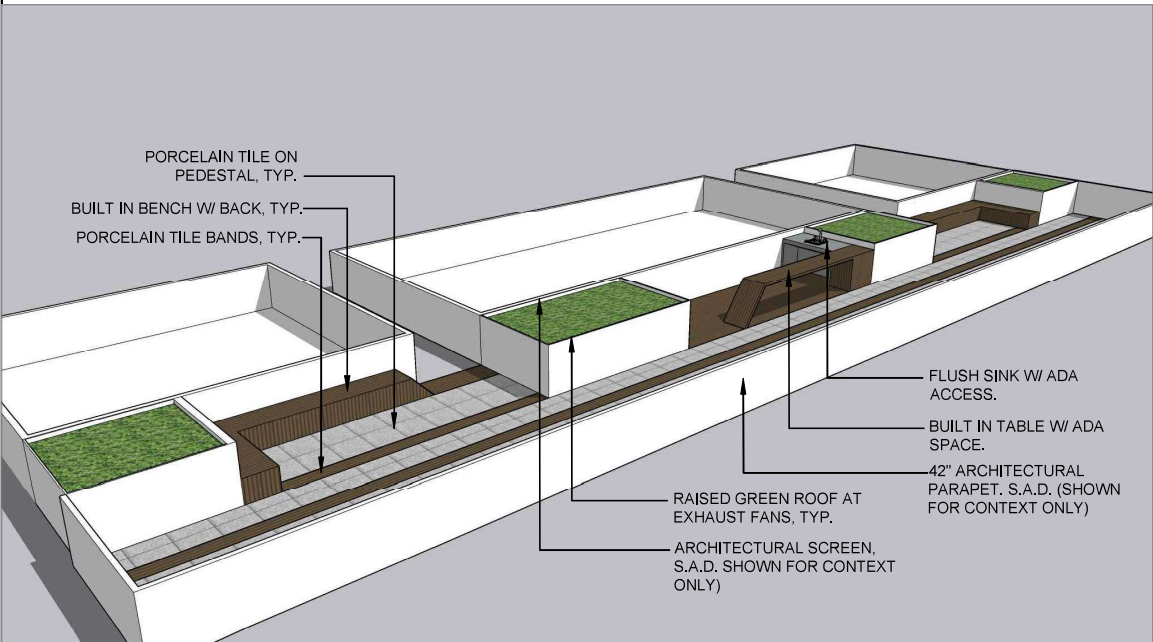
6. PRECAST CONCRETE BENCH



7. PREFABRICATED BIORETENTION PLANTER



8. GREEN ROOF TRAY SYSTEM



9. ROOFTOP COMPONENTS

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SALTOWITZ | NATOMA ARCHITECTS INC.**  
1022 Natomia Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1646 N California Blvd, Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECTURE**  
415. 688.2506  
www.creolandarch.com

STRUCTURAL ENGINEER:  
**IMEG CORP**  
160 Pine Street, Suite 350  
San Francisco, CA 94111  
415.641-9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 H.ArcCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408-522-5255

SURVEY:  
**WESTOVER SURVEYING**  
336 Claremont Blvd, Ste 1  
San Francisco, CA 94127  
415. 242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415. 670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St, Ste 101  
San Francisco, CA 94103  
415.923.8510

SPACE RESERVED FOR  
DBI AGENCY USE :

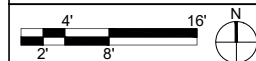
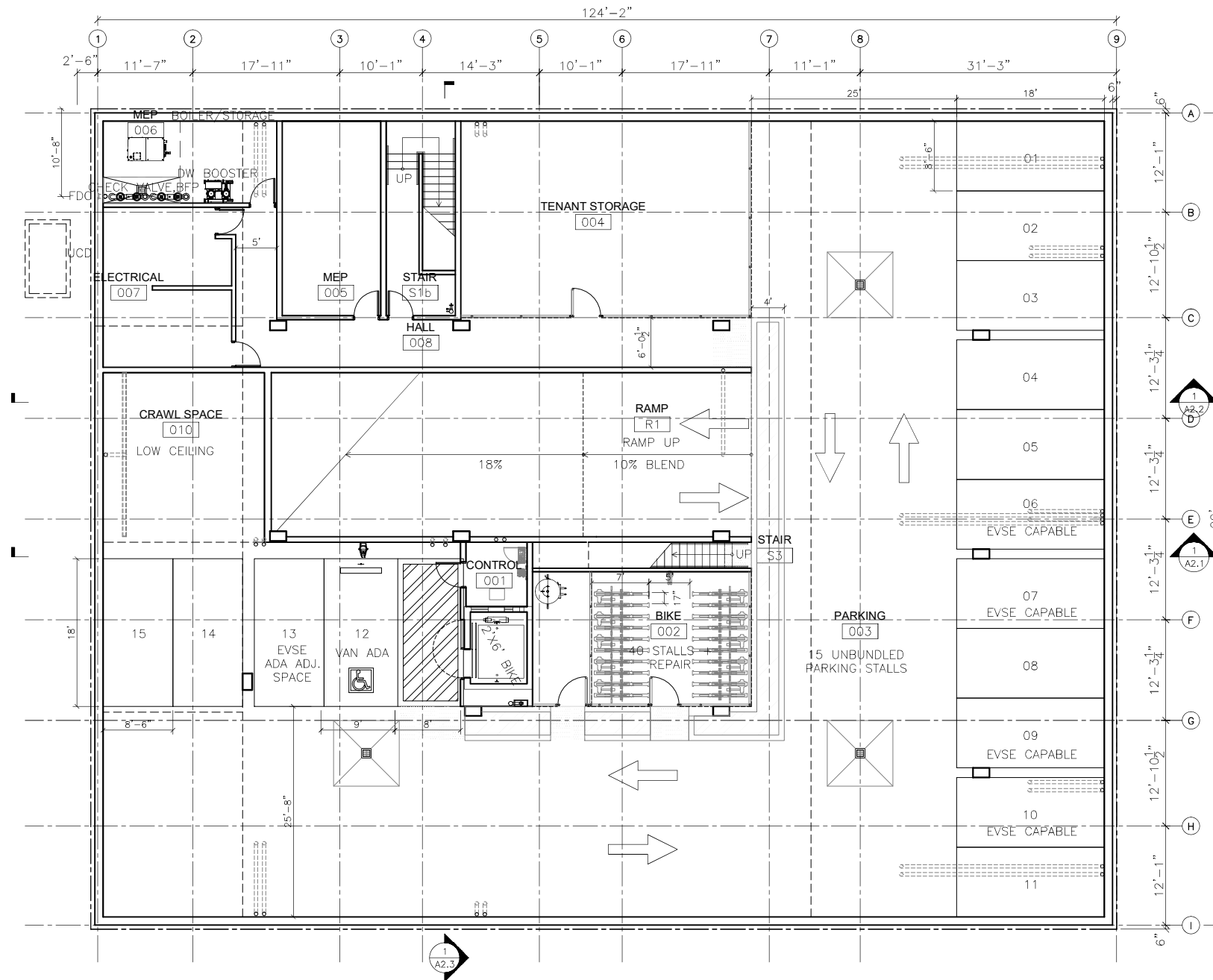


**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
LANDSCAPE MATERIAL  
IMAGERY

SET:	PLANNING APPLICATION
DATE:	02/28/2023
SCALE:	AS SHOWN
DRAWN:	CREO

SHEET NO:  
**L5.00**



BASEMENT PLAN

1

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAIOTOWITZ | NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1446 N California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
535 Mission St., 14th Floor  
San Francisco, CA 94105  
415.688.2506

STRUCTURAL ENGINEER:  
**IMEG CORP**  
140 Pine Street, Suite 350  
San Francisco, CA 94111  
415.541.9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408-522-5255

SURVEY:  
**WESTOVER SURVEYING**  
334 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
415.242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415.670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
San Francisco, CA 94103  
415.723.8510

SPACE RESERVED FOR  
DBI AGENCY USE :



**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**FLOOR PLANS  
BASEMENT**

SET: **SF PLANNING**

DATE: **02-27-2023**

SCALE: **1/8"= 1'-0"**

DRAWN: **SS|NAI**  
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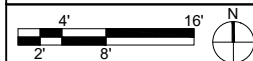
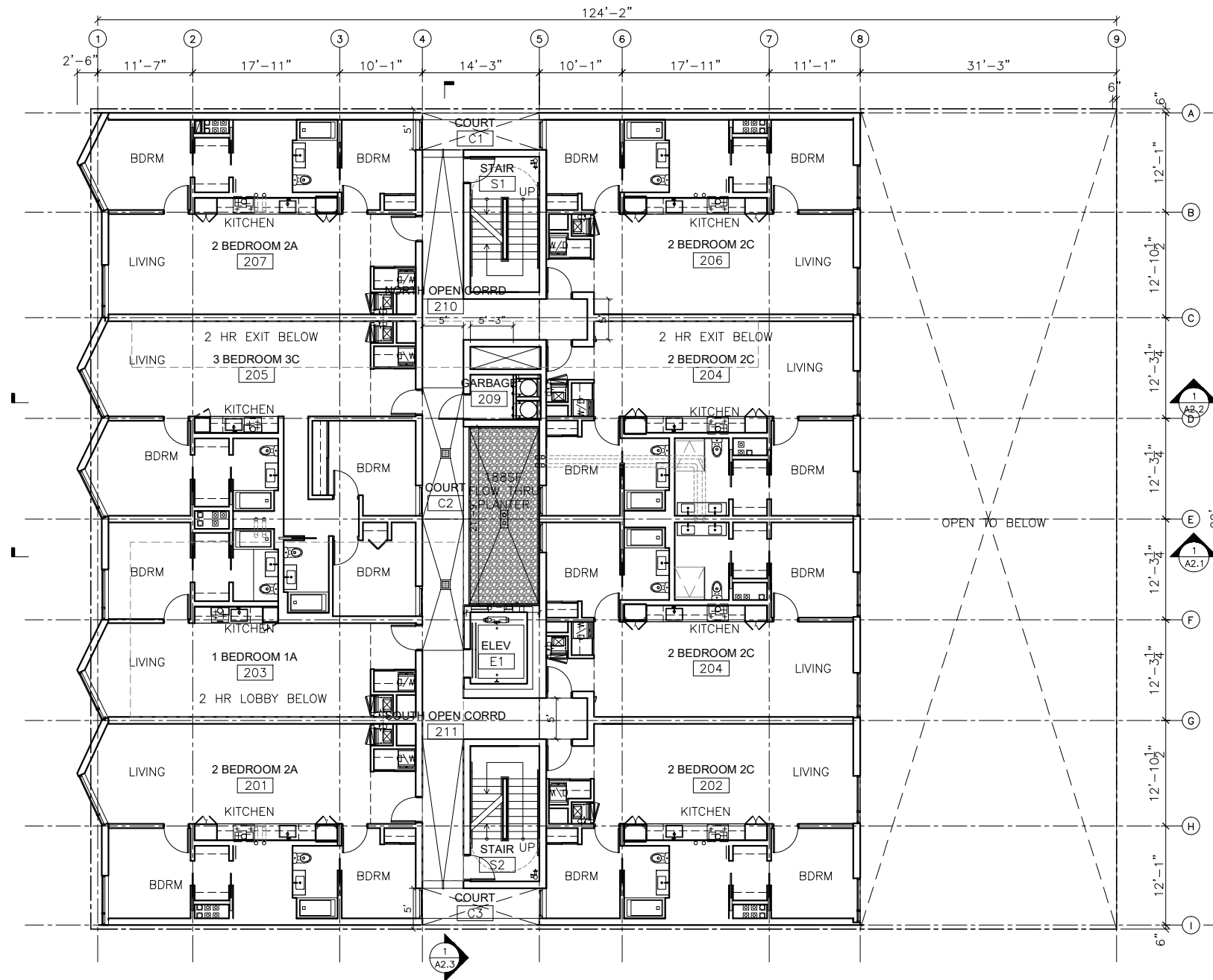
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**A1.0**





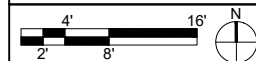
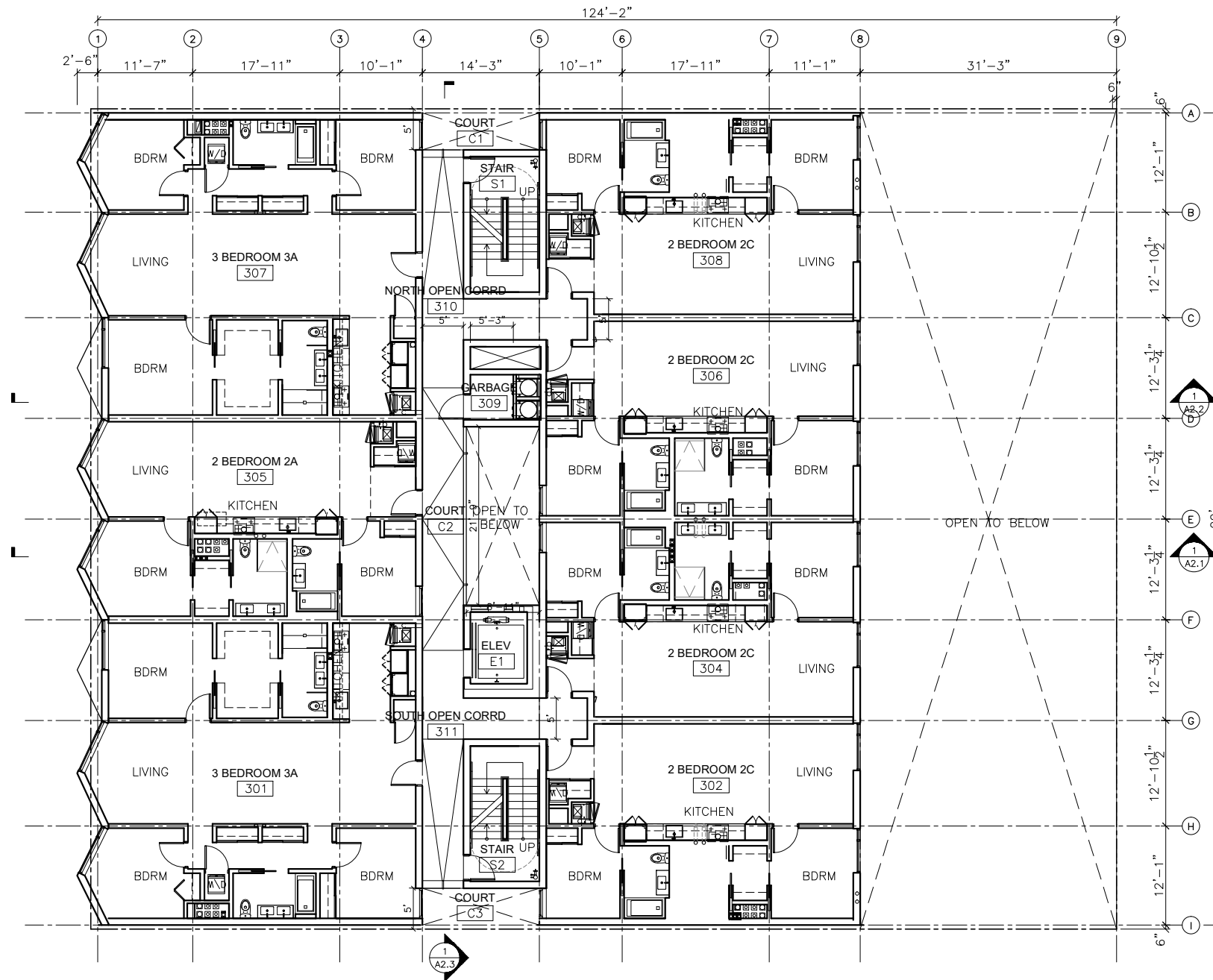




LEVEL 2 PLAN

1

REVISIONS	DATE
OWNER: 67-69 BELCHER STREET LLC 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: STANLEY SAITOWITZ   NATOMA ARCHITECTS INC. 1022 Natoma Street, No. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: BKF ENGINEERS 1440 N. California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: CREO LANDSCAPE ARCHITECT 535 Mission St., 14th Floor San Francisco, CA 94105 415.688.2506	
STRUCTURAL ENGINEER: IMEG CORP 140 Pine Street, Suite 350 San Francisco, CA 94111 415.541.9477	
MEP ENGINEER: ACIES ENGINEERING 400 N. McCarthy Blvd., Suite 250 Milpitas, CA 95035 408-522-5255	
SURVEY: WESTOVER SURVEYING 334 Claremont Blvd., Ste 1 San Francisco, CA 94127 415.242.5400	
GEOTECH: ROLLO & RIDLEY 989 Sutter St., Unit 4 San Francisco, CA 94109 415.670.9123	
FIRE FLOW: MADDEN PLUMBING 1228 Folsom St., Ste 101 San Francisco, CA 94103 415.723.8519	
SPACE RESERVED FOR DBI AGENCY USE :	
67-69 BELCHER ST. SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: FLOOR PLANS LEVEL 2	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	1/8"= 1'-0"
DRAWN:	SSINAI © 2023 STANLEY SAITOWITZ   NATOMA ARCHITECTS INC.
SHEET NO:	A1.2



LEVEL 3 PLAN

1

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
1055 Ashbury Street  
San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAIOTOWITZ |  
NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1440 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
535 Mission St., 14th Floor  
San Francisco, CA 94105  
415.688.2506

STRUCTURAL ENGINEER:  
**IMEG CORP**  
140 Pine Street, Suite 350  
San Francisco, CA 94111  
415.541.9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408.522.5255

SURVEY:  
**WESTOVER SURVEYING**  
334 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
415.242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415.670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
San Francisco, CA 94103  
415.723.8510

SPACE RESERVED FOR  
DBI AGENCY USE :



**67-69 BELCHER ST.**  
SAN FRANCISCO, CA 94114  
DBI 2022-1216-8581

SHEET TITLE:  
**FLOOR PLANS  
LEVEL 3**

SET: SF PLANNING

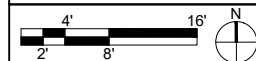
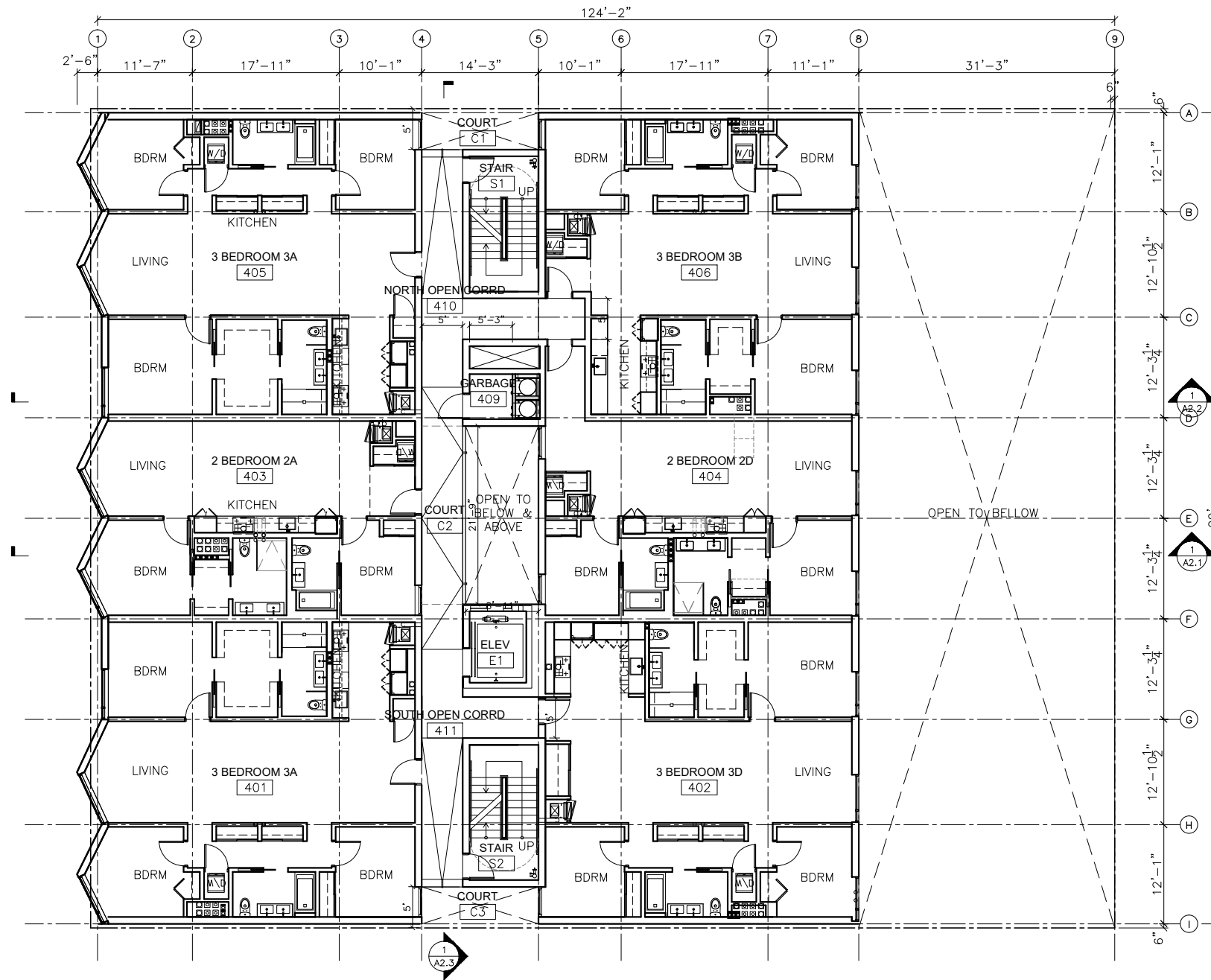
DATE: 02-27-2023

SCALE: 1/8"= 1'-0"

DRAWN: SSJNAI  
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SHEET NO:

**A1.3**



LEVEL 4 PLAN

1

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
 1055 Ashbury Street  
 San Francisco, CA 94117

ARCHITECT:  
**STANLEY SAITOWITZ | NATOMA ARCHITECTS INC.**  
 1022 Natoma Street, No. 3  
 San Francisco, CA 94103  
 415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
 1440 N. California Blvd., Suite 400  
 Walnut Creek, CA 94596  
 925.940.2200

LANDSCAPE ARCHITECT:  
**CREO LANDSCAPE ARCHITECT**  
 535 Mission St., 14th Floor  
 San Francisco, CA 94105  
 415.688.2506

STRUCTURAL ENGINEER:  
**IMEG CORP**  
 140 Pine Street, Suite 350  
 San Francisco, CA 94111  
 415.541.9477

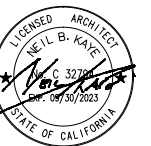
MEP ENGINEER:  
**ACIES ENGINEERING**  
 400 N. McCarthy Blvd., Suite 250  
 Milpitas, CA 95035  
 408.522.5255

SURVEY:  
**WESTOVER SURVEYING**  
 334 Claremont Blvd., Ste 1  
 San Francisco, CA 94127  
 415.242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
 989 Sutter St., Unit 4  
 San Francisco, CA 94109  
 415.670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
 1228 Folsom St., Ste 101  
 San Francisco, CA 94103  
 415.723.8519

SPACE RESERVED FOR DBI AGENCY USE :



**67-69 BELCHER ST.**  
 SAN FRANCISCO, CA 94114  
 DBI 2022-1216-8581

SHEET TITLE:  
**FLOOR PLANS  
 LEVEL 4**

SET: SF PLANNING

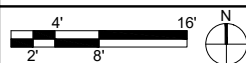
DATE: 02-27-2023

SCALE: 1/8"= 1'-0"

DRAWN: SSJNAI  
© 2023 STANLEY SAITOWITZ | NATOMA ARCHITECTS INC.

SHEET NO:

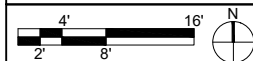
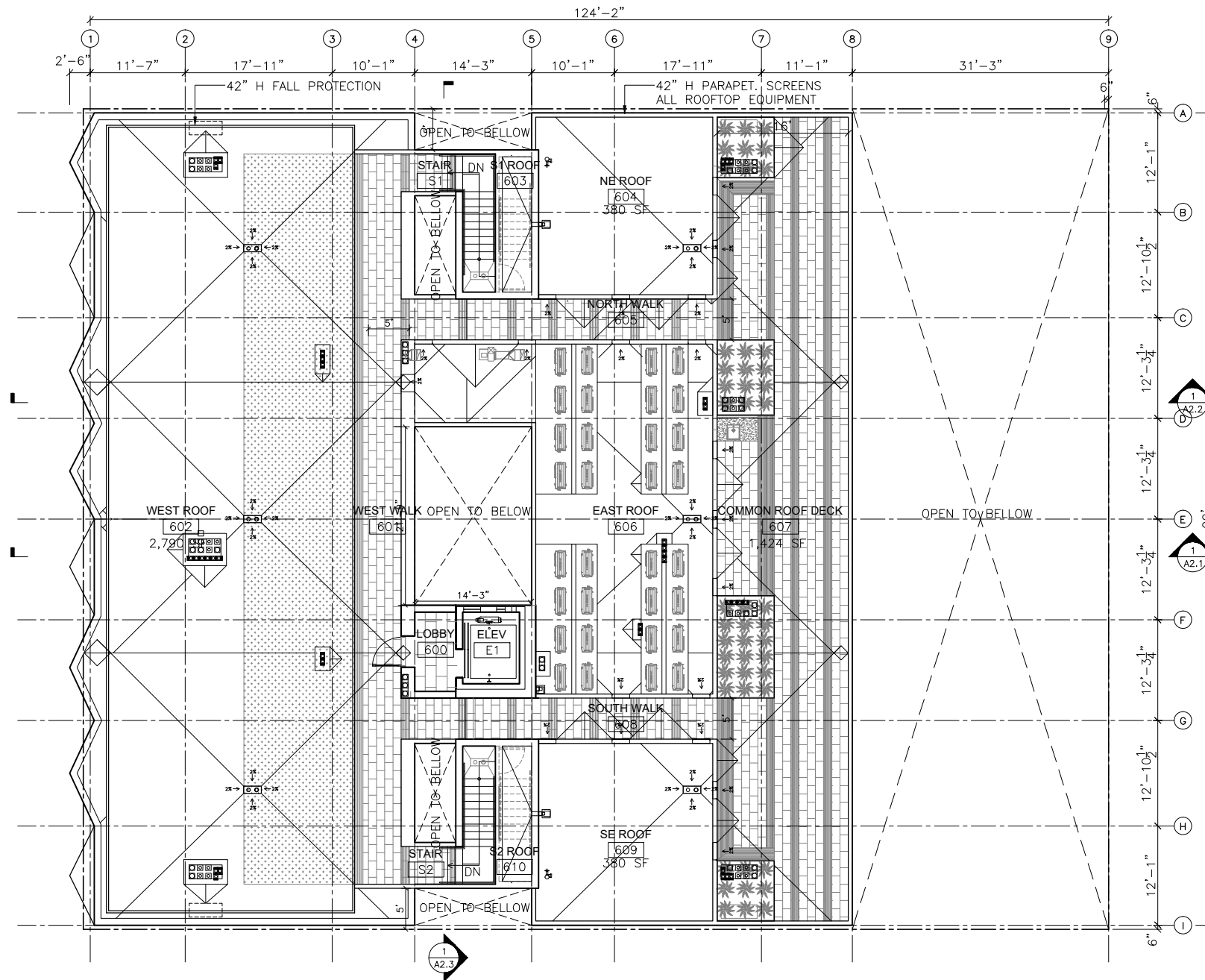
A1.4



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SHEET NO:

## A1.5



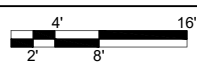
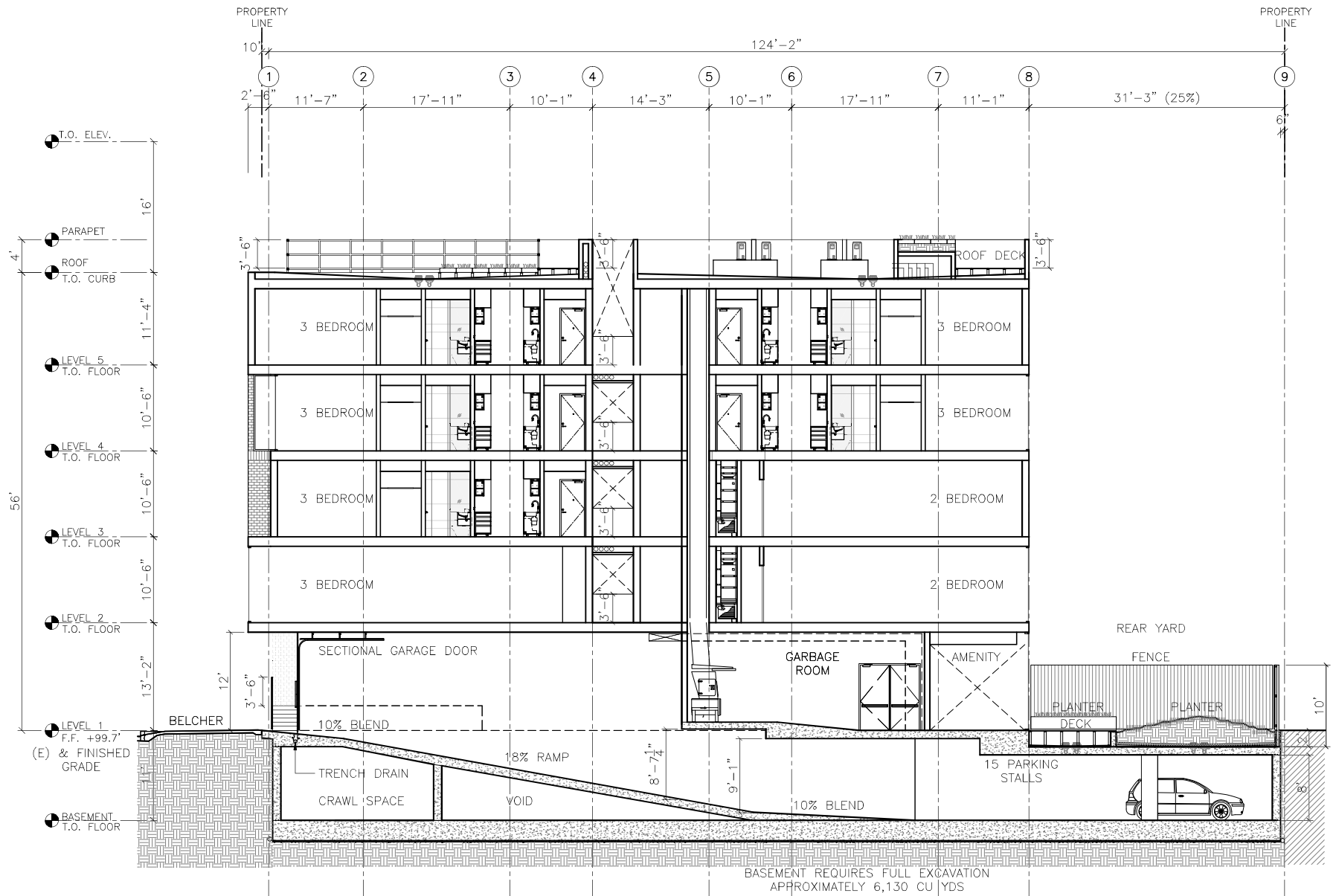
ROOF PLAN

1

REVISIONS	DATE
OWNER: <b>67-69 BELCHER STREET LLC</b> 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: <b>STANLEY SAITOWITZ   NATOMA ARCHITECTS INC.</b> 1022 Natoma Street, No. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: <b>BKF ENGINEERS</b> 1446 N California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: <b>CREO LANDSCAPE ARCHITECT</b> 535 Mission St., 14th Floor San Francisco, CA 94105 415.688.2506	
STRUCTURAL ENGINEER: <b>IMEG CORP</b> 140 Pine Street, Suite 350 San Francisco, CA 94111 415.541.9477	
MEP ENGINEER: <b>ACIES ENGINEERING</b> 400 N. McCarthy Blvd., Suite 250 Milpitas, CA 95035 408-522-5255	
SURVEY: <b>WESTOVER SURVEYING</b> 334 Claremont Blvd., Ste 1 San Francisco, CA 94127 415.242.5400	
GEOTECH: <b>ROLLO &amp; RIDLEY</b> 989 Sutter St., Unit 4 San Francisco, CA 94109 415.670.9123	
FIRE FLOW: <b>MADDEN PLUMBING</b> 1228 Folsom St., Ste 101 San Francisco, CA 94103 415.723.8519	
SPACE RESERVED FOR DBI AGENCY USE :	
<b>67-69 BELCHER ST.</b> SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: <b>FLOOR PLANS ROOF</b>	
SET:	SF PLANNING
DATE:	02-27-2023
SCALE:	1/8"= 1'-0"
DRAWN:	SSJ/NAI <small>© 2023 STANLEY SAITOWITZ   NATOMA ARCHITECTS INC.</small>
SHEET NO:	<b>A1.6</b>







LONGITUDINAL SECTION

1

REVISIONS	DATE
OWNER: 67-69 BELCHER STREET LLC 1055 Ashbury Street San Francisco, CA 94117	
ARCHITECT: STANLEY SAITOWITZ   NATOMA ARCHITECTS INC. 1022 Natoma Street, No. 3 San Francisco, CA 94103 415.626.8977	
CIVIL ENGINEER: BKF ENGINEERS 1446 N California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200	
LANDSCAPE ARCHITECT: CREO LANDSCAPE ARCHITECT 535 Mission St., 14th Floor San Francisco, CA 94105 415.688.2506	
STRUCTURAL ENGINEER: IMEG CORP 160 Pine Street, Suite 350 San Francisco, CA 94111 415.541.9477	
MEP ENGINEER: ACIES ENGINEERING 400 N. McCarthy Blvd., Suite 250 Milpitas, CA 95035 408-522-5255	
SURVEY: WESTOVER SURVEYING 334 Claremont Blvd., Ste 1 San Francisco, CA 94127 415.242.5400	
GEOTECH: ROLLO & RIDLEY 989 Sutter St., Unit 4 San Francisco, CA 94109 415.670.9123	
FIRE FLOW: MADDEN PLUMBING 1228 Folsom St., Ste 101 San Francisco, CA 94103 415.723.8519	
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67-69 BELCHER ST. SAN FRANCISCO, CA 94114 DBI 2022-1216-8581	
SHEET TITLE: SECTIONS	
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SHEET NO:	A2.2

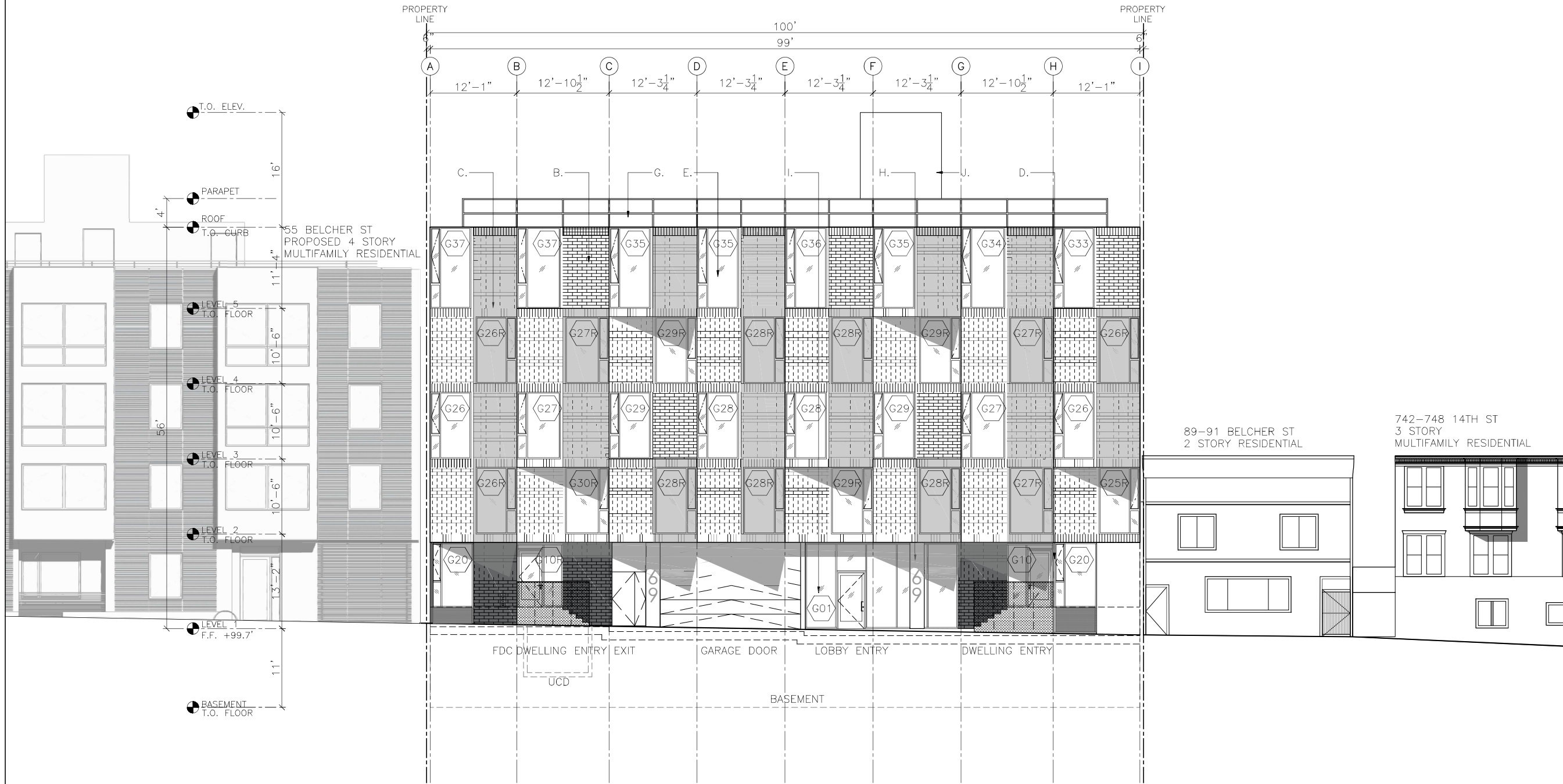




1

SHEET NO:

## A2.3



- ELEVATION LEGEND
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| A. WHITE CEMENT-FIBER RAIN SCREEN           | F. NOT USED                             |
| B. WHITE BRICK VENEER RUNNING BOND          | G. GALV. PIPE GUARDRAIL                 |
| C. WHITE BRICK VENEER VERTICAL STACKED BOND | H. CONCRETE COLUMN W/ ADDRESS LETTERING |
| D. BLACK BRICK VENEER RUNNING BOND          | I. GLASS STOREFRONT                     |
| E. WHITE FRAME ALUM. CASEMENT WINDOWS       | J. ELEV. PENHOUSE                       |

WEST ELEVATION

1

REVISIONS	DATE

OWNER:  
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1055 Ashbury Street  
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ARCHITECT:  
**STANLEY SAIOTOWITZ | NATOMA ARCHITECTS INC.**  
1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
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**ACIES ENGINEERING**  
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408.522.5255

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**ELEVATIONS**

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SHEET NO:	A3.1



ELEVATION LEGEND  
A. WHITE CEMENT-FIBER RAIN SCREEN  
B. WHITE BRICK VENEER RUNNING BOND  
C. WHITE BRICK VENEER VERTICAL STACKED BOND  
D. BLACK BRICK VENEER RUNNING BOND  
E. WHITE FRAME ALUM. CASEMENT WINDOWS  
F. NOT USED  
G. GALV. PIPE GUARDRAIL  
H. CONCRETE COLUMN W/ ADDRESS LETTERING  
I. GLASS STOREFRONT  
J. ELEV. PENHOUSE

EAST ELEVATION

1

REVISIONS	DATE

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**BKF ENGINEERS**  
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925.940.2200

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San Francisco, CA 94105  
415.688.2506

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San Francisco, CA 94111  
415.541.9477

MEP ENGINEER:  
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SURVEY:  
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415.670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
San Francisco, CA 94103  
415.723.8519

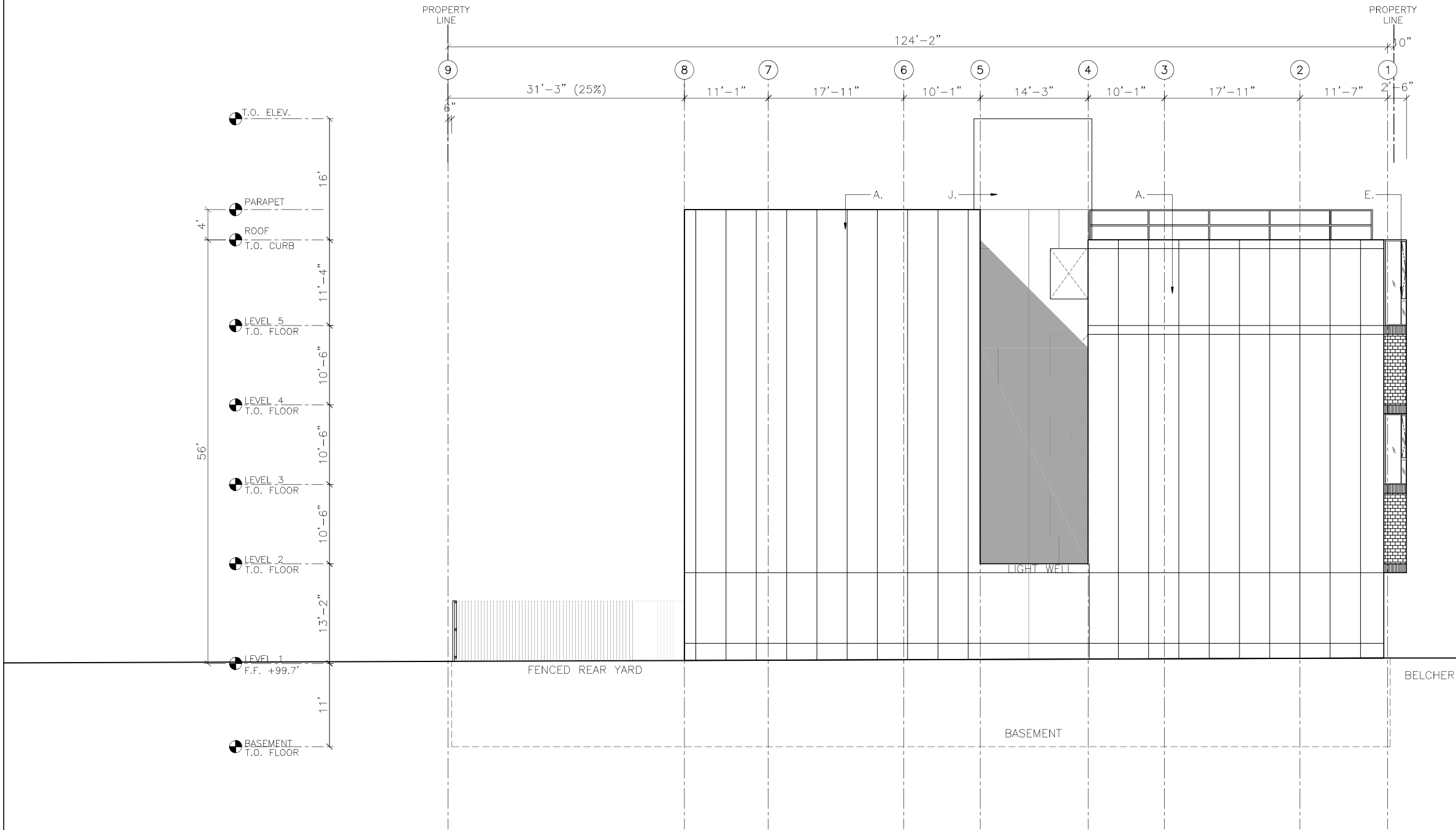
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SAN FRANCISCO, CA 94114  
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SHEET TITLE:  
**ELEVATIONS**

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- ELEVATION LEGEND
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|---|---|
| A. WHITE CEMENT-FIBER RAIN SCREEN           | F. NOT USED                             |
| B. WHITE BRICK VENEER RUNNING BOND          | G. GALV. PIPE GUARDRAIL                 |
| C. WHITE BRICK VENEER VERTICAL STACKED BOND | H. CONCRETE COLUMN W/ ADDRESS LETTERING |
| D. BLACK BRICK VENEER RUNNING BOND          | I. GLASS STOREFRONT                     |
| E. WHITE FRAME ALUM. CASEMENT WINDOWS       | J. ELEV. PENHOUSE                       |

SOUTH ELEVATION

1

REVISIONS	DATE

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ARCHITECT:  
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1022 Natoma Street, No. 3  
San Francisco, CA 94103  
415.626.8977

CIVIL ENGINEER:  
**BKF ENGINEERS**  
1440 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

LANDSCAPE ARCHITECT:  
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535 Mission St., 14th Floor  
San Francisco, CA 94105  
415. 688.2506

STRUCTURAL ENGINEER:  
**IMEG CORP**  
140 Pine Street, Suite 350  
San Francisco, CA 94111  
415-541-9477

MEP ENGINEER:  
**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA 95035  
408-522-5255

SURVEY:  
**WESTOVER SURVEYING**  
334 Claremont Blvd., Ste 1  
San Francisco, CA 94127  
415. 242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
989 Sutter St., Unit 4  
San Francisco, CA 94109  
415. 670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
San Francisco, CA 94103  
415.723.8519

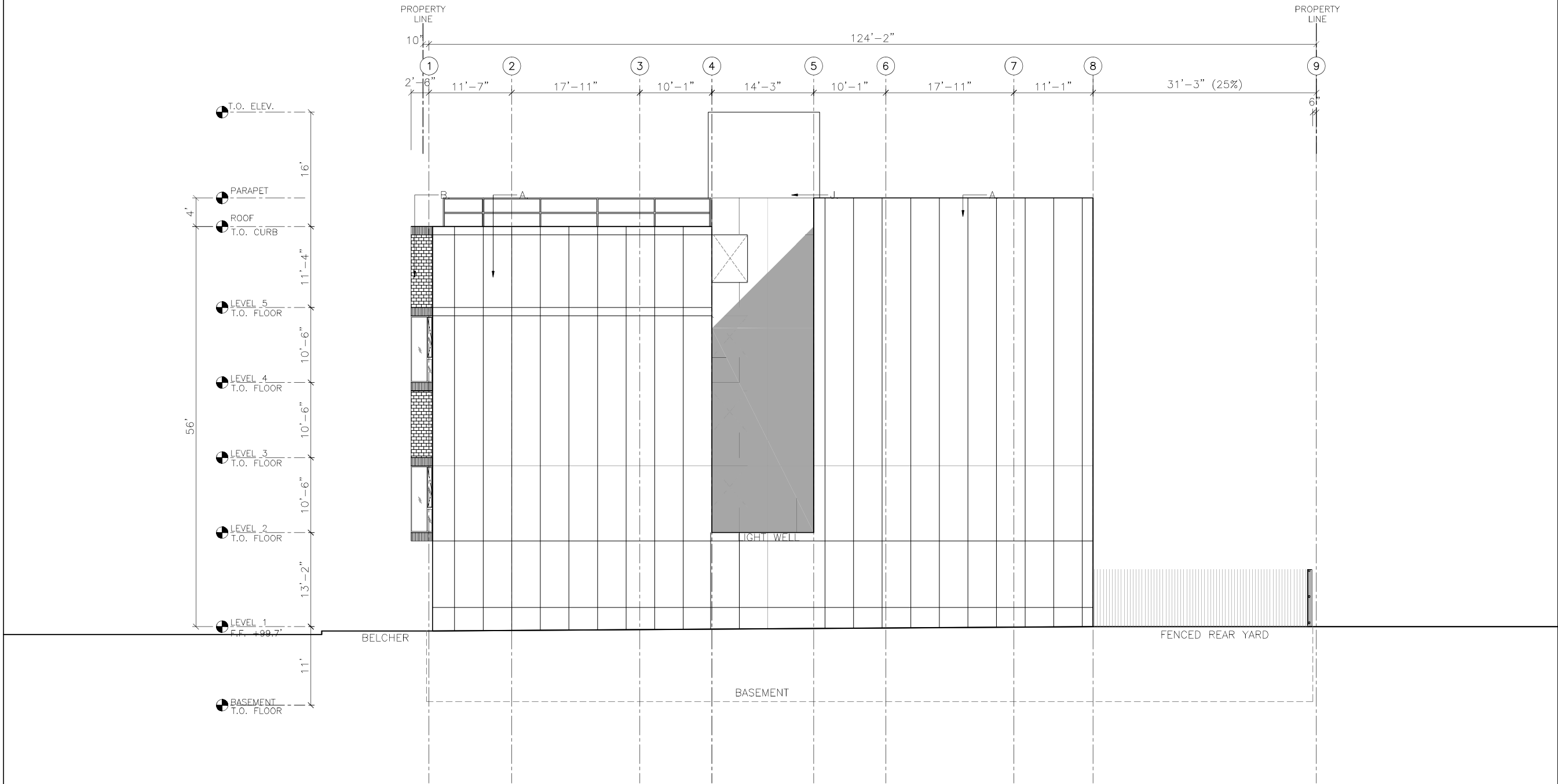
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**ELEVATIONS**

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- ELEVATION LEGEND
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|---|---|
| A. WHITE CEMENT-FIBER RAIN SCREEN           | F. NOT USED                             |
| B. WHITE BRICK VENEER RUNNING BOND          | G. GALV. PIPE GUARDRAIL                 |
| C. WHITE BRICK VENEER VERTICAL STACKED BOND | H. CONCRETE COLUMN W/ ADDRESS LETTERING |
| D. BLACK BRICK VENEER RUNNING BOND          | I. GLASS STOREFRONT                     |
| E. WHITE FRAME ALUM. CASEMENT WINDOWS       | J. ELEV. PENHOUSE                       |

NORTH ELEVATION

1

REVISIONS	DATE

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925.940.2200

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415.688.2506

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415.541.9477

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408-522-5255

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San Francisco, CA 94127  
415.242.5400

GEOTECH:  
**ROLLO & RIDLEY**  
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San Francisco, CA 94109  
415.670.9123

FIRE FLOW:  
**MADDEN PLUMBING**  
1228 Folsom St., Ste 101  
San Francisco, CA 94103  
415.723.8519

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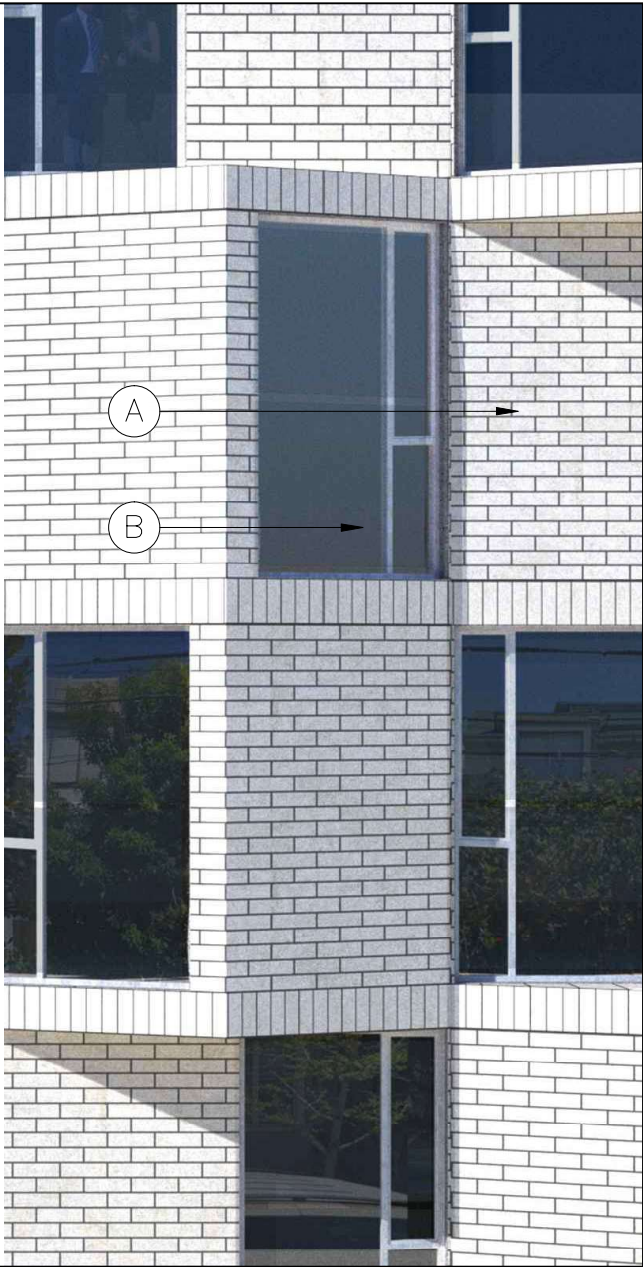


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SHEET TITLE:  
**ELEVATIONS**

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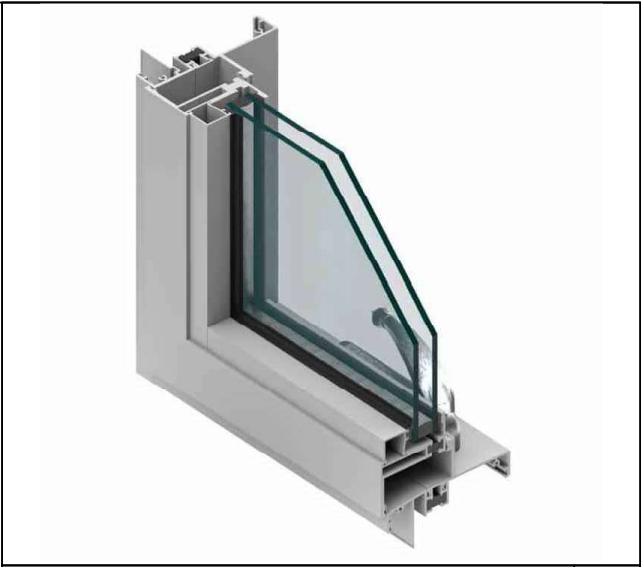
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D



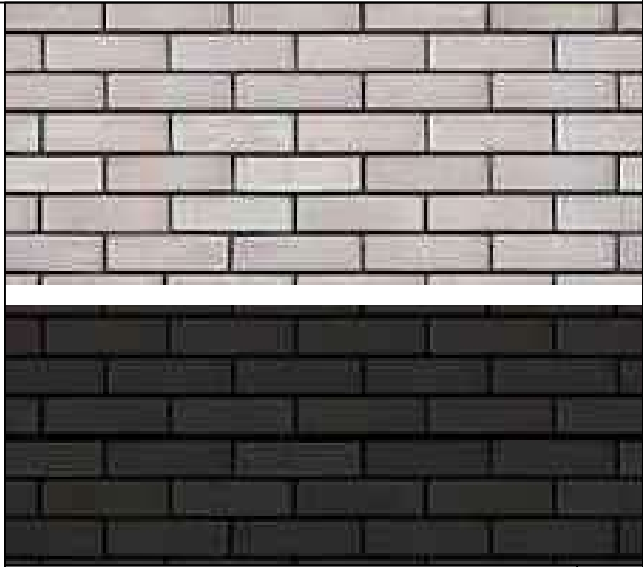
SMOOTH CONCRETE COLUMN

C



WHITE ALUM  
CASEMENT/FIXED WINDOWS

B



BRICK VENEER RAINSCREEN

A

REVISIONS	DATE

OWNER:  
**67-69 BELCHER STREET LLC**  
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NATOMA ARCHITECTS INC.**  
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925.940.2200

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SHEET TITLE:  
**MATERIAL**

SET:	SF PLANNING
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SCALE:	N.T.S.
DRAWN:	SSJNAI <small>© 2023 STANLEY SAIOTWITZ   NATOMA ARCHITECTS INC.</small>

SHEET NO:  
**A3.5**



## AGREEMENT TO IMPLEMENT MITIGATION MONITORING AND REPORTING PROGRAM

Record No.: 20021-011813ENV  
 Project Title: 67-69 Belcher Street  
 Zoning: RTO (Residential Transit Oriented) Use District  
 40-X Height and Bulk District

Block/Lot: 3537/074  
 Lot Size: 12,500 square feet  
 Project Sponsor: Tom Tunny [ttunny@reubenlaw.com](mailto:ttunny@reubenlaw.com) (415-567-9000)  
 Lead Agency: San Francisco Planning Department  
 Staff Contact: David Young – 628.652-7494

The table below indicates when compliance with each mitigation measure must occur. Some mitigation measures span multiple phases. Substantive descriptions of each mitigation measure's requirements are provided on the following pages in the Mitigation Monitoring and Reporting Program.

Adopted Mitigation Measure	Period of Compliance			Compliance with Mitigation Measure Completed?
	Prior to the Start of Construction*	During Construction**	Post-construction or Operational	
<b>Project Mitigation Measure 1: Archeological Testing</b>	X	X	X	
<b>Project Mitigation Measure 2: Tribal Cultural Resources Program</b>	X	X		
<b>Project Mitigation Measure 3: Construction Air Quality</b>	X	X		

## NOTES:

\* Prior to any ground disturbing activities at the project site.

\*\* Construction is broadly defined to include any physical activities associated with construction of a development project including, but not limited to: site preparation, clearing, demolition, excavation, shoring, foundation installation, and building construction.

  X   I agree to implement the attached mitigation measure(s) as a condition of project approval.



03/06/23

Property Owner or Legal Agent Signature

Date

Note to sponsor: Please contact [CPC.EnvironmentalMonitoring@sfgov.org](mailto:CPC.EnvironmentalMonitoring@sfgov.org) to begin the environmental monitoring process prior to the submittal of your building permits to the San Francisco Department Building Inspection.



## MITIGATION MONITORING AND REPORTING PROGRAM

### MONITORING AND REPORTING PROGRAM<sup>1</sup>

Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
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#### MITIGATION MEASURES AGREED TO BY PROJECT SPONSOR

#### ARCHEOLOGICAL/TRIBAL CULTURAL RESOURCES

##### Project Mitigation Measure 1: Archeological Testing

Based on a reasonable potential that archeological resources may be present within the project site, the following measures shall be undertaken to avoid any potentially significant adverse effects from the proposed project on buried or submerged historical resources.

Archeological Testing Program. The purpose of the archeological testing program will be to determine to the extent possible the presence or absence of archeological resources and to identify and to evaluate whether any archeological resource encountered on the site constitutes an historical resource under CEQA. The project sponsor shall retain the services of an archeological consultant from the rotational Qualified Archeological Consultants List (QACL) maintained by the planning department. After the first project approval action or as directed by the Environmental Review Officer (ERO), the project sponsor shall contact the department archeologist to obtain the names and contact information for the next three archeological consultants on the QACL.

Project sponsor and ERO

Prior to issuance of construction permits.

Environmental Review Officer /Project Sponsor

Complete when project sponsor retains qualified archeological consultant.

The archeological consultant shall undertake an archeological testing program as specified herein. The archeological consultant's work shall be conducted in accordance with this measure at the direction of the Environmental Review Officer

**MONITORING AND REPORTING PROGRAM<sup>1</sup>**

Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
<p>(ERO). All plans and reports prepared by the consultant as specified herein shall be submitted first and directly to the ERO for review and comment and shall be considered draft reports subject to revision until final approval by the ERO. In addition, the consultant shall be available to conduct an archeological monitoring and/or data recovery program if required pursuant to this measure. Archeological monitoring and/or data recovery programs required by this measure could suspend construction of the project for up to a maximum of four weeks. At the direction of the ERO, the suspension of construction can be extended beyond four weeks only if such a suspension is the only feasible means to reduce to a less than significant level potential effects on a significant archeological resource as defined in CEQA Guidelines Sect. 15064.5 (a)(c).</p>				
<p><u>Archeological Testing Plan.</u> The archeological testing program shall be conducted in accordance with the approved Archeological Testing Plan (ATP). The archeological consultant and the ERO shall consult on the scope of the ATP, which shall be approved by the ERO prior to any project-related soils disturbing activities commencing. The ATP shall be submitted first and directly to the ERO for review and comment and shall be considered a draft subject to revision until final approval by the ERO. The archaeologist shall implement the testing as specified in the approved ATP prior to and/or during construction.</p>	<p>Project sponsor's qualified archeological consultant and construction contractor</p>	<p>Prior to issuance of construction permits and throughout the construction period</p>	<p>Planning Department</p>	<p>Considered complete after implementation of approved ATP</p>
<p>The ATP shall identify the property types of the expected archeological resource(s) that potentially could be adversely affected by the proposed project, lay out what scientific/historical research questions are applicable to the expected resource, what data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ATP shall also identify the testing method to be used, the depth or horizontal extent of</p>				

**MONITORING AND REPORTING PROGRAM<sup>1</sup>**

<b>Adopted Mitigation Measures</b>	<b>Implementation Responsibility</b>	<b>Mitigation Schedule</b>	<b>Monitoring / Reporting Responsibility</b>	<b>Monitoring Actions / Completion Criteria</b>
testing, and the locations recommended for testing and shall identify archeological monitoring requirements for construction soil disturbance as warranted.				
<u>Paleoenvironmental Analysis of Paleosols.</u> When a submerged paleosol is identified during monitoring, irrespective of whether cultural material is present, samples shall be extracted and processed for dating, flotation for paleobotanical analysis, and other applicable special analyses pertinent to identification of possible cultural soils and for environmental reconstruction. The results of analysis of collected samples shall be reported on in results reports.	Archaeological consultant	During construction	Archaeological consultant	Considered complete when samples are collected, processed, and analyzed
<u>Discovery Treatment Determination.</u> At the completion of the archeological testing program, the archeological consultant shall submit a written summary of the findings to the ERO. The findings memo shall describe and identify each resource and provide an initial assessment of the integrity and significance of encountered archeological deposits.  If the ERO in consultation with the archeological consultant determines that a significant archeological resource is present and that the resource could be adversely affected by the proposed project, the ERO, in consultation with the project sponsor, shall determine whether preservation of the resource in place is feasible. If so, the proposed project shall be re-designed so as to avoid any adverse effect on the significant archeological resource and the archeological consultant shall prepare an archeological resource preservation plan (ARPP), which shall be implemented by the project sponsor during construction. The consultant shall submit a draft ARPP to the planning department for review and approval.	Archaeological consultant	During construction	Archaeological consultant provides summary to ERO. ERO consultants with the project sponsor to determine if preservation in place is possible. If so, consultant prepares ARPP. If not, ERO in consults with archeological consultant to determine if additional treatment is needed.	Considered completed after review and approval of archeological testing results memo by ERO; or ARPP is approve; or it's determined that treatment is needed

**MONITORING AND REPORTING PROGRAM<sup>1</sup>**

<b>Adopted Mitigation Measures</b>	<b>Implementation Responsibility</b>	<b>Mitigation Schedule</b>	<b>Monitoring / Reporting Responsibility</b>	<b>Monitoring Actions / Completion Criteria</b>
<p>If preservation in place is not feasible, a data recovery program shall be implemented, unless the ERO determines that the archeological resource is of greater interpretive than research significance and that interpretive use of the resource is feasible. The ERO in consultation with the archeological consultant shall also determine if additional treatment is warranted, which may include additional testing and/or construction monitoring.</p>				
<p><u>Archaeological Sensitivity Training.</u> If it is determined that the project would require ongoing archeological monitoring, the archaeological consultant shall provide a training to the prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, pile driving, etc. firms); or utilities firm involved in soils-disturbing activities within the project site. The training shall advise all project contractors to be on the alert for evidence of the presence of the expected archeological resource(s), of how to identify the evidence of the expected resource(s), and of the appropriate protocol in the event of apparent discovery of an archeological resource by the construction crew.</p>	Archaeological consultant	Prior to any soils-disturbing activities	Archaeological consultant provides training	Considered complete when training is provided
<p><u>Consultation with Descendant Communities.</u> On discovery of an archeological site associated with descendant Native Americans, the Overseas Chinese, or other potentially interested descendant group an appropriate representative of the descendant group and the ERO shall be contacted. The representative of the descendant group shall be given the opportunity to monitor archeological field investigations of the site and to offer recommendations to the ERO regarding appropriate archeological treatment of the site, of recovered data from the site, and, if applicable, any interpretative treatment of the associated archeological site. The ERO and project sponsor shall work with the tribal representative or other representatives of descendant communities to identify the</p>	Archaeological consultant, descendant group, project sponsor, and ERO	After discovery of significant resource associated with a descendent group	Archaeological consultant contacts descendant group(s). Archaeological consultant, ERO, and project sponsor, and representative(s) determine scope of work for deliverables. Project sponsor is responsible for compensating descendant(s) for work	Considered complete after descendant group has received ARR and been compensated for work on deliverables



**MONITORING AND REPORTING PROGRAM<sup>1</sup>**

<b>Adopted Mitigation Measures</b>	<b>Implementation Responsibility</b>	<b>Mitigation Schedule</b>	<b>Monitoring / Reporting Responsibility</b>	<b>Monitoring Actions / Completion Criteria</b>
<p>scope of work to fulfill the requirements of this mitigation measure, which may include participation in preparation and review of deliverables (e.g., plans, interpretive materials, artwork). Representatives shall be compensated for their work as identified in the agreed upon scope of work. A copy of the Archeological Resources Report (ARR) shall be provided to the representative of the descendant group.</p>			<p>in preparation and review of deliverables. Archaeological consultant sends ARR to descendant(s).</p>	
<p><u>Archeological Data Recovery Plan.</u> An archeological data recovery program shall be conducted in accordance with an Archeological Data Recovery Plan (ADRP) if all three of the following apply: 1) a resource has potential to be significant, 2) preservation in place is not feasible, and 3) the ERO determines that an archeological data recovery program is warranted. The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the ADRP prior to preparation of a draft ADRP. The archeological consultant shall submit a draft ADRP to the ERO. The ADRP shall identify how the proposed data recovery program will preserve the significant information the archeological resource is expected to contain. That is, the ADRP will identify what scientific/historical research questions are applicable to the expected resource, what data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. Data recovery, in general, should be limited to the portions of the historical property that could be adversely affected by the proposed project. Destructive data recovery methods shall not be applied to portions of the archeological resources if nondestructive methods are practical.</p>	<p>Project sponsor's qualified archeological consultant</p>	<p>Upon ERO's determination that data recovery is required in the event an archaeological resource is discovered</p>	<p>Planning Department /project sponsor</p>	<p>Considered complete after ERO's approval of Archeological Data Recovery Plan.</p>

The scope of the ADRP shall include the following elements:

- *Field Methods and Procedures.* Descriptions of proposed field strategies, procedures, and operations.

**MONITORING AND REPORTING PROGRAM<sup>1</sup>**

<b>Adopted Mitigation Measures</b>	<b>Implementation Responsibility</b>	<b>Mitigation Schedule</b>	<b>Monitoring / Reporting Responsibility</b>	<b>Monitoring Actions / Completion Criteria</b>
<ul style="list-style-type: none"> <li>• <i>Cataloguing and Laboratory Analysis.</i> Description of selected cataloguing system and artifact analysis procedures.</li> <li>• <i>Discard and Deaccession Policy.</i> Description of and rationale for field and post-field discard and deaccession policies.</li> <li>• <i>Security Measures.</i> Recommended security measures to protect the archeological resource from vandalism, looting, and non-intentionally damaging activities.</li> <li>• <i>Final Report.</i> Description of proposed report format and distribution of results.</li> <li>• <i>Curation.</i> Description of the procedures and recommendations for the curation of any recovered data having potential research value, identification of appropriate curation facilities, and a summary of the accession policies of the curation facilities.</li> </ul>				
<p><u>Coordination of Archeological Data Recovery Investigation.</u> In cases in which the same resource has been or being affected by another project for which data recovery has been conducted/ is in progress, or is planned, in order to maximize the scientific and interpretation value of the date recovered from both archeological investigations, the following measures shall be implemented:</p> <p>a. In cases where neither investigation has not yet begun, both archeological consultants and the ERO shall consult on coordinating and collaboration on archeological research design, data recovery methods , analytical methods, reporting, curations, and interpretation to ensure consistent data recovery and treatment of the resource.</p>	<p>Archeological consultant in consultation with ERO</p>	<p>At initiation of preparation of ADRP</p>	<p>Planning Department /project sponsor</p>	<p>Considered complete approval of Final Archeological Results Report</p>

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<p>b. In cases where archeological data recovery investigation is already underway or has been completed for a prior project , the archeological consultant for the subsequent project shall consult with the archeological consultant , if available, review prior to treatment plans, findings and reporting; and inspect and assess existing archeological collections/inventories from the site prior to preparation of the archeological treatment plan for the subsequent discovery, and shall incorporate prior findings in the final report of the subsequent investigation. The objectives of the coordination and review of prior methods and findings will be identify refined research questions; determine appropriate data recovery methods and analysis; assess new findings relative to prior research findings; and integrate prior findings into subsequent reporting and interpretation.</p>				
<p><u>Human Remains and Funerary Objects.</u> The treatment of human remains and funerary objects discovered during any soil-disturbing activity shall comply with applicable State and federal laws. This shall include immediate notification of the Medical Examiner of the City and County of San Francisco. The ERO also shall be notified immediately upon the discovery of human remains. In the event of the Medical Examiner's determination that the human remains are Native American remains, the Medical Examiner shall notify the California State Native American Heritage Commission, which will appoint a Most Likely Descendant (MLD). The MLD will complete his or her inspection of the remains and make recommendations or preferences for treatment within 48 hours of being granted access to the site (Public Resources Code section 5097.98(a)).</p> <p>The landowner may consult with the project archeologist and project sponsor and shall consult with the MLD and CEQA lead</p>	<p>Project sponsor/archeological consultant in consultation with the ERO, Medical Examiner, NAHC, and MLD as warranted</p>	<p>In the event that human remains are uncovered during the construction period</p>	<p>Planning Department / project sponsor</p>	<p>Considered complete on finding by ERO that all State laws regarding human remains/burial objects have been adhered to, consultation with MLD is completed as warranted, approval of Archeological Results Report, and disposition of human remains has occurred as specified in Agreement.</p>

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<p>agency on preservation in place or recovery of the remains and any scientific treatment alternatives. The landowner shall then make all reasonable efforts to develop an Agreement with the MLD, as expeditiously as possible, for the treatment and disposition, with appropriate dignity, of human remains and funerary objects (as detailed in CEQA Guidelines section 15064.5(d)). Per PRC 5097.98 (b)(1), the Agreement shall address and take into consideration, as applicable and to the degree consistent with the wishes of the MLD, the appropriate excavation, removal, recordation, scientific analysis, custodianship prior to reinterment or curation, and final disposition of the human remains and funerary objects. If the MLD agrees to scientific analyses of the remains and/or funerary objects, the archeological consultant shall retain possession of the remains and funerary objects until completion of any such analyses, after which the remains and funerary objects shall be reinterred or curated as specified in the Agreement.</p> <p>Both parties are expected to make a concerted and good faith effort to arrive at an Agreement, consistent with the provisions of PRC 5097.98. However, if the landowner and the MLD are unable to reach an Agreement, the landowner, ERO, and project sponsor shall ensure that the remains and/or mortuary materials are stored securely and respectfully until they can be reinterred on the property, with appropriate dignity, in a location not subject to further or future subsurface disturbance, consistent with state law.</p> <p>Treatment of historic-period human remains and of associated or unassociated funerary objects discovered during any soil-disturbing activity, additionally, shall follow protocols laid out in the project's Archeological treatment documents, and in any related agreement established between the project sponsor, Medical Examiner and the ERO</p>				



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<p><u>Cultural Resources Public Interpretation Plan.</u> The project archeological consultant shall submit a Cultural Resources Public Interpretation Plan (CRPIP) if a significant archeological resource is discovered during a project. As directed by the ERO, a qualified design professional with demonstrated experience in displaying information and graphics to the public in a visually interesting manner, local artists, or community group may also be required to assist the project archeological consultant in preparation of the CRPIP. If the resource to be interpreted is a tribal cultural resource, the CRPIP shall be prepared in consultation with and developed with the participation of Ohlone tribal representatives. The CRPIP shall describe the interpretive product(s), locations or distribution of interpretive materials or displays, the proposed content and materials, the producers or artists of the displays or installation, and a long-term maintenance program. The CRPIP shall be sent to the ERO for review and approval. The CRPIP shall be implemented prior to occupancy of the project.</p>	<p>Archeological consultant at the direction of the ERO will prepare CRPIP. Measure laid out in CRPIP are implemented by sponsor and consultant.</p>	<p>Following completion of treatment and analysis of significant archeological resource by archeological consultant</p>	<p>Archeological consultant submits draft CRPIP to ERO for review and approval.</p>	<p>CRPIP is complete on review and approval of ERO. Interpretive program is complete on notification to ERO from the project sponsor that program has been implemented.</p>
<p><u>Archeological Resources Report.</u> The project archeological consultant shall submit a confidential draft Archeological Resources Report (ARR) to the ERO that evaluates the historical significance of any discovered archeological resource, describes the archeological and historical research methods employed in the archeological monitoring/data recovery program(s) undertaken, and discusses curation arrangements.</p>	<p>Archeological consultant at the direction of the ERO.</p>	<p>Following completion of treatment by archeological consultant as determined by the ERO</p>	<p>Planning Department / project sponsor</p>	<p>Complete on certification to ERO that copies of the approved ARR have been distributed</p>
<p>Once approved by the ERO, copies of the approved ARR shall be distributed as follows: California Archeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy, and the ERO shall receive a copy of the transmittal of the ARR to the NWIC. The environmental planning division of the planning department shall receive one (1) bound hardcopy of the ARR.</p>				

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<p>Digital files that shall be submitted to the environmental division include an unlocked, searchable PDF version of the ARR, GIS shapefiles of the site and feature locations, any formal site recordation forms (CA DPR 523 series), and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. The PDF ARR, GIS files, recordation forms, and/or nomination documentation should be submitted via USB or other stable storage device. If a descendant group was consulted during archeological treatment, a PDF of the ARR shall be provided to the representative of the descendant group.</p>				
<p><u>Curation.</u> Significant archeological collections and paleoenvironmental samples of future research value shall be permanently curated at an established curatorial facility. The facility shall be selected in consultation with the ERO. Upon submittal of the collection for curation the sponsor or archeologist shall provide a copy of the signed curatorial agreement to the ERO.</p>	<p>Project archeologist prepares collection for curation and project sponsor pays for curation costs.</p>	<p>In the event a significant archeological resource is discovered and upon acceptance by the ERO of the ARR</p>	<p>Planning Department / project sponsor</p>	<p>Considered complete upon acceptance of the collection by the curatorial facility</p>
<p><b>Project Mitigation Measure 2: Tribal Cultural Resources</b>  <u>Preservation in Place.</u> In the event of the discovery of an Archeological resource of Native American origin, the Environmental Review Officer (ERO), the project sponsor, and the tribal representative, shall consult to determine whether preservation in place would be feasible and effective. Coordination shall take place with local Native American representatives, including the Association of Ramaytush Ohlone and other interested Ohlone parties. If it is determined that preservation-in-place of the tribal cultural resource would be both feasible and effective, then the project sponsor in</p>	<p>Project sponsor archeological consultant, and ERO, in consultation with the local Native American representative</p>	<p>If significant Native American archeological resource is present, during implementation of the project</p>	<p>Planning Department /project sponsor</p>	<p>Considered complete upon completion and approval of ARPP and project redesign or interpretive program of the TCR, if required.</p>

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consultation with local Native American representatives shall prepare an tribal cultural resource preservation plan (TCRPP). If the tribal cultural resource is an archeological resource of Native American origin, the archeological consultant shall prepare an archeological resource preservation plan (ARPP) in consultation with the local Native American representative, which shall be implemented by the project sponsor during construction. The consultant shall submit a draft ARPP to Planning for review and approval.				
<u>Interpretive Program.</u> If the Environmental Review Officer (ERO), in consultation with the affiliated Native American tribal representatives (including the Association of Ramaytush Ohlone and other interested Ohlone parties) and the project sponsor, determines that preservation-in-place of the tribal cultural resources is not a sufficient or feasible option, then archeological data recovery shall be implemented as required by the ERO and in consultation with affiliated Native American tribal representatives if the tribal cultural resource is an archeological resource of Native American origin.	Project sponsor in consultation with the local Native American representative	After determination that preservation in place is not feasible, and subsequent to archeological data recovery, as relevant	Planning Department / project sponsor	TCRIP is complete on review and approval of ERO. Interpretive program is complete on notification to ERO by the project sponsor that program has been implemented
The project sponsor, in consultation with local Native American representatives, shall prepare a Tribal Cultural Resources Interpretation Plan (TCRIP) to guide the interpretive program. The TCRIP may be prepared in tandem with the Cultural Resources Public Interpretation Plan (CRPIP) if required. The TCRIP shall be submitted to the ERO for review and approval prior to implementation of the program. The plan shall identify, as appropriate, proposed locations for installations or displays, the proposed content and materials of those displays or installation, the producers or artists of the displays or installation, and a long-term maintenance program. The interpretive program may include artist installations, preferably by local Native American artists, oral histories with local Native Americans, cultural				

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displays educational panels, or other interpretive elements agreed upon by the ERO, sponsor, and local Native American representatives. Upon approval of the TCRIP and prior to project occupancy, the interpretive program shall be implemented by the project sponsor. The ERO and project sponsor shall work with the tribal representative to identify the scope of work to fulfill the requirements of this mitigation measure, which may include participation in preparation and review of deliverables (e.g., plans, interpretive materials, artwork). Tribal representatives shall be compensated for their work as identified in the agreed upon scope of work.				
<b>AIR QUALITY</b>				
<b>Project Mitigation Measure 3: Construction Air Quality</b>				
The project sponsor shall comply with the following:				
<i>A. Engine Requirements.</i>	Project sponsor and Planning Department	Prior to issuance of construction permit, the project sponsor to submit: Construction Emissions Minimization Plan for review and approval, and signed certification statement.	Planning Department (ERO, Air Quality technical staff).	Considered complete upon Planning Department review and acceptance of Construction Emissions Minimization Plan, implementation of the plan, and submittal of final report summarizing use of construction equipment pursuant to the plan.
1. All off-road equipment greater than 25 hp and operating for more than 20 total hours over the entire duration of construction activities shall have engines that meet or exceed either U.S. Environmental Protection Agency (USEPA) or California Air Resources Board (ARB) Tier 4 Interim or Tier 4 Final off-road emission standards.				
2. Where access to alternative sources of power are available, portable diesel engines shall be prohibited.				
3. Diesel engines, whether for off-road or on-road equipment, shall not be left idling for more than two minutes, at any location, except as provided in exceptions to the applicable state regulations regarding idling for off-road and on-road equipment (e.g., traffic conditions, safe operating conditions). The Contractor shall post legible and visible signs in English, Spanish, and Chinese, in designated queuing areas and at the construction site to remind operators of the two-minute idling limit.				

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4. The project sponsor shall instruct construction workers and equipment operators on the maintenance and tuning of construction equipment, and require that such workers and operators properly maintain and tune equipment in accordance with manufacturer specifications.				

**B. Waivers.**

1. The planning department's environmental review officer (ERO) or designee may waive the alternative source of power requirement of Subsection (A)(2) if an alternative source of power is limited or the use is infeasible at the project site. If the ERO grants the waiver, the Contractor must submit documentation that the equipment used for on-site power generation meets the requirements of Subsection (A)(1).
2. The ERO may waive the equipment requirements of Subsection (A)(1) if: a particular piece of Tier 4 off-road equipment is technically not feasible; the equipment would not produce desired emissions reduction due to expected operating modes; or there is a compelling emergency need to use off-road equipment that is not Tier 4 compliant. If the ERO grants the waiver, the contractor must use the next cleanest piece of off-road equipment, or another alternative that results in comparable reductions of diesel particulate matter.

**C. Construction Emissions Minimization Plan.** Before starting on-site construction activities, the Contractor shall submit a Construction Emissions Minimization Plan (plan) to the ERO for review and approval. The Plan shall state, in reasonable detail how the contractor will meet the requirements of Section A.

1. The plan shall include estimates of the construction timeline by phase, with a description of each piece of off-road equipment required for every construction phase. The description may include, but not limited to: equipment type,



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<p>equipment manufacturer, equipment identification number, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation. For VDECS installed, the description may include: technology type, serial number, make, model, manufacturer, ARB verification number level, and installation date and hour meter reading on installation date. For off-road equipment using alternative fuels, the description shall also specify the type of alternative fuel being used.</p> <p>2. The ERO shall ensure that all applicable requirements of the plan have been incorporated into the contract specifications. The plan shall include a certification statement that the project sponsor agrees to comply fully with the plan.</p> <p>3. The project sponsor shall make the plan available to the public for review on-site during working hours. The project sponsor shall post at the construction site a legible and visible sign summarizing the plan. The sign shall also state that the public may ask to inspect the plan for the project at any time during working hours and shall explain how to request to inspect the plan. The project sponsor shall post at least one copy of the sign in a visible location on each side of the construction site facing a public right-of-way.</p> <p><i>D. Monitoring.</i> After start of construction activities, the contractor shall submit quarterly reports to the ERO documenting compliance with the Plan. After completion of construction activities and prior to receiving a final certificate of occupancy, the project sponsor shall submit to the ERO a final report summarizing construction activities, including the start and end dates and duration of each construction phase, and the specific information required in the plan.</p>				

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<sup>1</sup> Definitions of MMRP Column Headings: <i>Adopted Mitigation Measures:</i> Full text of the mitigation measure(s) copied verbatim from the final CEQA document. <i>Implementation Responsibility:</i> Entity who is responsible for implementing the mitigation measure. In most cases this is the project sponsor and/or project's sponsor's contractor/consultant and at times under the direction of the planning department. <i>Mitigation Schedule:</i> Identifies milestones for when the actions in the mitigation measure need to be implemented. <i>Monitoring/Reporting Responsibility:</i> Identifies who is responsible for monitoring compliance with the mitigation measure and any reporting responsibilities. In most cases it is the Planning Department who is responsible for monitoring compliance with the mitigation measure. If a department or agency other than the planning department is identified as responsible for monitoring, there should be an expressed agreement between the planning department and that other department/agency. In most cases the project sponsor, their contractor, or consultant are responsible for any reporting requirements. <i>Monitoring Actions/Completion Criteria:</i> Identifies the milestone at which the mitigation measure is considered complete. This may also identify requirements for verifying compliance.				